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6-25-93

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Camera Operator

161

Camera Number

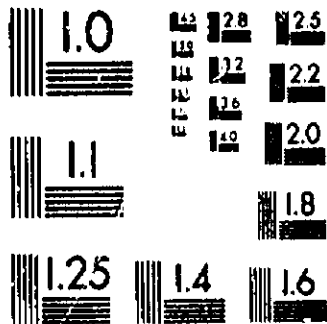
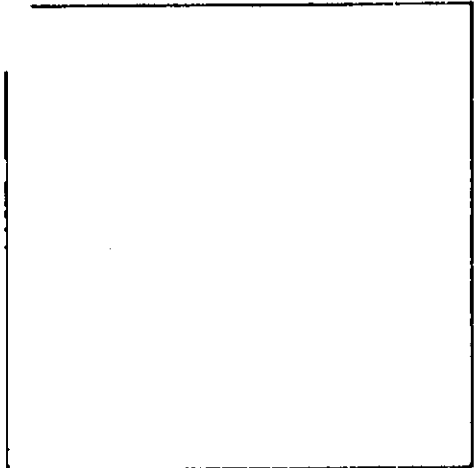
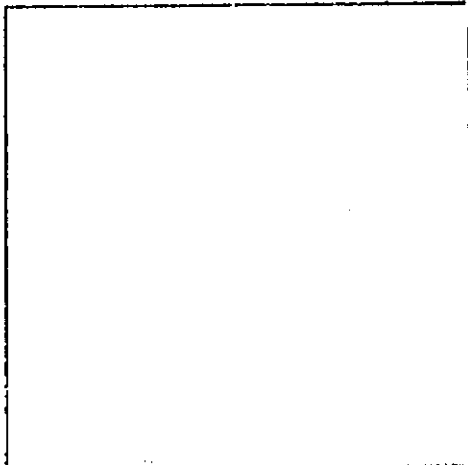
[Signature]

Supervisor



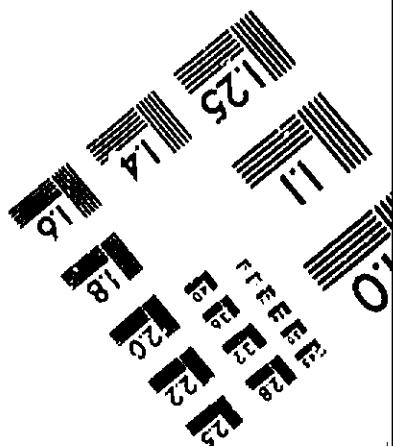
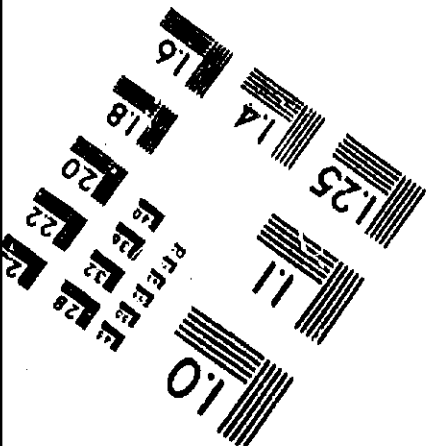


5110 Roanoke Place, Suite 101B
College Park, MD 20740
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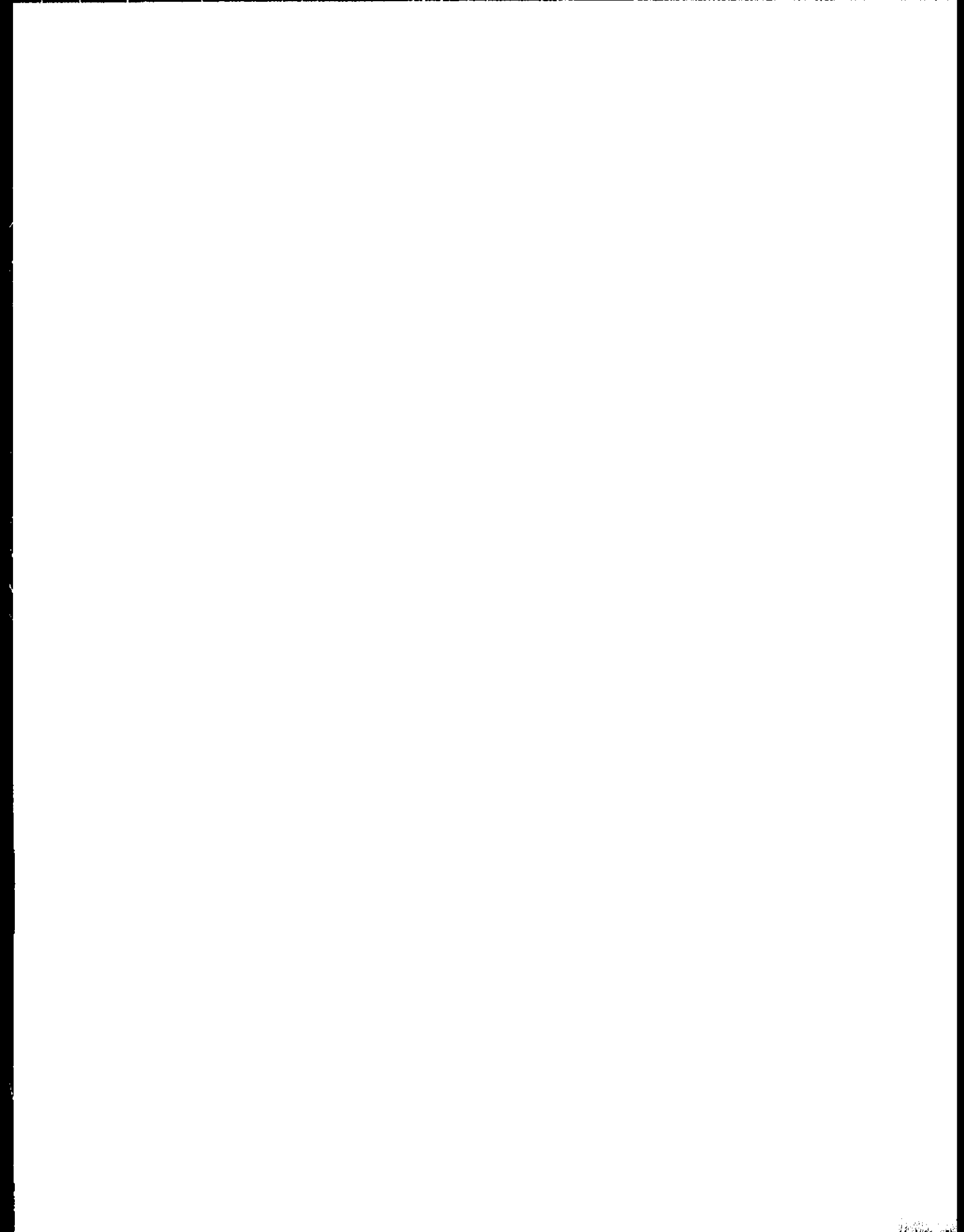


150 MM

6"



PA-3 8 1/4" x 11" PAPER PRINTED GENERAL TARGET



SITE LOCATION:

I E. NELSON AV.

2631

*construct a dwelling on a
substandard lot*

Special Use Permit

- Board of Zoning Appeals
- Encroachment
- Vacation
- Subdivision
- Site Plan
- B.A.R.
-

REMARKS:

Action of City Council:	Granted	Granted Subject to Conditions	Granted in Part	Denied	Deferred
Recommendation of Planning Commission:	Granted	Granted Subject to Conditions	Granted in Part	Denied	Withdrawn
Action of Board of Zoning Appeals:	Granted	Granted Subject to Conditions	Granted in Part	Denied	Withdrawn
Action of Board of Architectural Review:	Granted	Granted Subject to Conditions	Granted in Part	Denied	Withdrawn

Applicant: _____ Map # 43.03-03-01 Zone R-2-5

Public Hearing:

Planning Commission: Nov. 5, 1992 City Council B.Z.A. B.A.R.

DEC. 1, 1992

JAN. 5, 1993



SPECIAL USE PERMIT CERTIFICATE

Article XI, Division A, Section 11-510 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia requires that you display this special use permit in a conspicuous and publicly accessible place. A copy of the list of conditions associated with the special use permit shall be kept on the premises and made available for examination by the public upon request.

Special Use Permit No. 2651 Approved by City Council on January 23, 1993

Permission is hereby granted to Our Development Company

to use the premises located at 1 East Nelson Avenue

for the following purpose to construct a single family dwelling on
a substandard lot

It is the responsibility of the special use permit holder to adhere to the conditions approved by City Council. The Department of Planning and Community Development will periodically inspect the property to identify compliance with the approved conditions. If any condition is in violation, the permit holder will be cited and issued a ticket. The first violation carries a warning notice; subsequent violations carry a monetary fine. Continued violations will cause staff to docket the special use permit for review by City Council for possible revocation.

05/03/1993

Date


Sheldon Lynn, Director



APPLICATION: SPECIAL USE PERMIT

SUP # 2631

APPLICANT NAME: Our Development Company, a Virginia corporation

ADDRESS: 7708 Elba Road, Alexandria, Virginia 22306

PROPERTY LOCATION: 1 East Nelson Avenue, Alexandria, Virginia 22301

TAX MAP REFERENCE: 43.03 03 01 ZONE: R-2-5

PROPERTY OWNER NAME: Our Development Company, a Virginia corporation

ADDRESS: 7708 Elba Road, Alexandria, Virginia 22306

USE REQUESTED: Special Use Permit to construct a single family residence on a noncomplying lot.

THE UNDERSIGNED hereby applies for a Special Use Permit in accordance with the provisions of Article XI, Section 11-500 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article XI, Section 11-301(B) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED hereby attests that all of the information herein provided and specifically including all surveys, drawings, etc., required to be furnished by the applicant are true, correct and accurate to the best of their knowledge and belief.

Law Offices of Henry A. Thomas
Duncan W. Blair

Print Name of Applicant or Agent

P. O. Box 820, Alexandria, VA 22313

Mailing Address

Mailing Address

Duncan W. Blair

Signature

(703) 838-5108

Telephone Number

September 22, 1992

Date

DO NOT WRITE BELOW THIS LINE - OFFICE USE ONLY

Application Filing: 9-23-92
date received

\$ 100.
fee paid

9-23-92
date paid

Legal Advertisement: _____
date

Property Placard: _____
date

ACTION - PLANNING COMMISSION: 1-5-93 Recommend Approval 7-0

ACTION - CITY COUNCIL: 1/23/93 PH--Approved the recommendation of the Planning Commission and approved the request, subject to compliance with all applicable codes, ordinances, and staff recommendations, and added Condition #5. The access will be from Newton Street, not Wayne Street.

DOCKET ITEM # 3
SPECIAL USE PERMIT # 2631

PLANNING COMMISSION MEETING
TUESDAY, JANUARY 5, 1993
7:30 P.M., COUNCIL CHAMBERS

ISSUE: Consideration of a request for a Special Use Permit to construct a single family dwelling on a substandard lot.

APPLICANT: Our Development Company
by Duncan W. Blair, attorney

LOCATION: 1 East Nelson Avenue

ZONE: R-2-5, Residential

=====

PLANNING COMMISSION MEETING OF NOVEMBER 5, 1992:

ACTION: On a motion by Mr. Hurd, seconded by Mr. Carlton, the Planning Commission voted to recommend deferral of the request to the December hearings. The motion carried on a vote of 7 to 0.

REASON: The applicant wishes to have additional time to resolve design issues pertaining to the project.

Duncan Blair, Attorney, was present.

No one spoke opposing the request.

PLANNING COMMISSION MEETING OF DECEMBER 1, 1992:

ACTION: On a motion by Ms. Burke, seconded by Ms. Fossum, the Planning Commission voted to recommend deferral of the request to the January 1993 public hearings. The motion carried on a vote of 7 to 0.

REASON: To permit the applicant additional time to resolve design issues.

Duncan Blair, attorney representing the applicant, was present.

No one spoke opposing the request.

PLANNING COMMISSION MEETING OF JANUARY 5, 1993:

ACTION: On a motion by Mr. Hurd, seconded by Mr. Komoroske, the Planning Commission voted to recommend approval of the request, subject to compliance with all applicable codes, ordinances and staff recommendations, and added Condition #6. The motion carried on a vote of 7 to 0.

REASON: The Planning Commission agreed with the staff analysis.

Duncan Blair, attorney, was present.

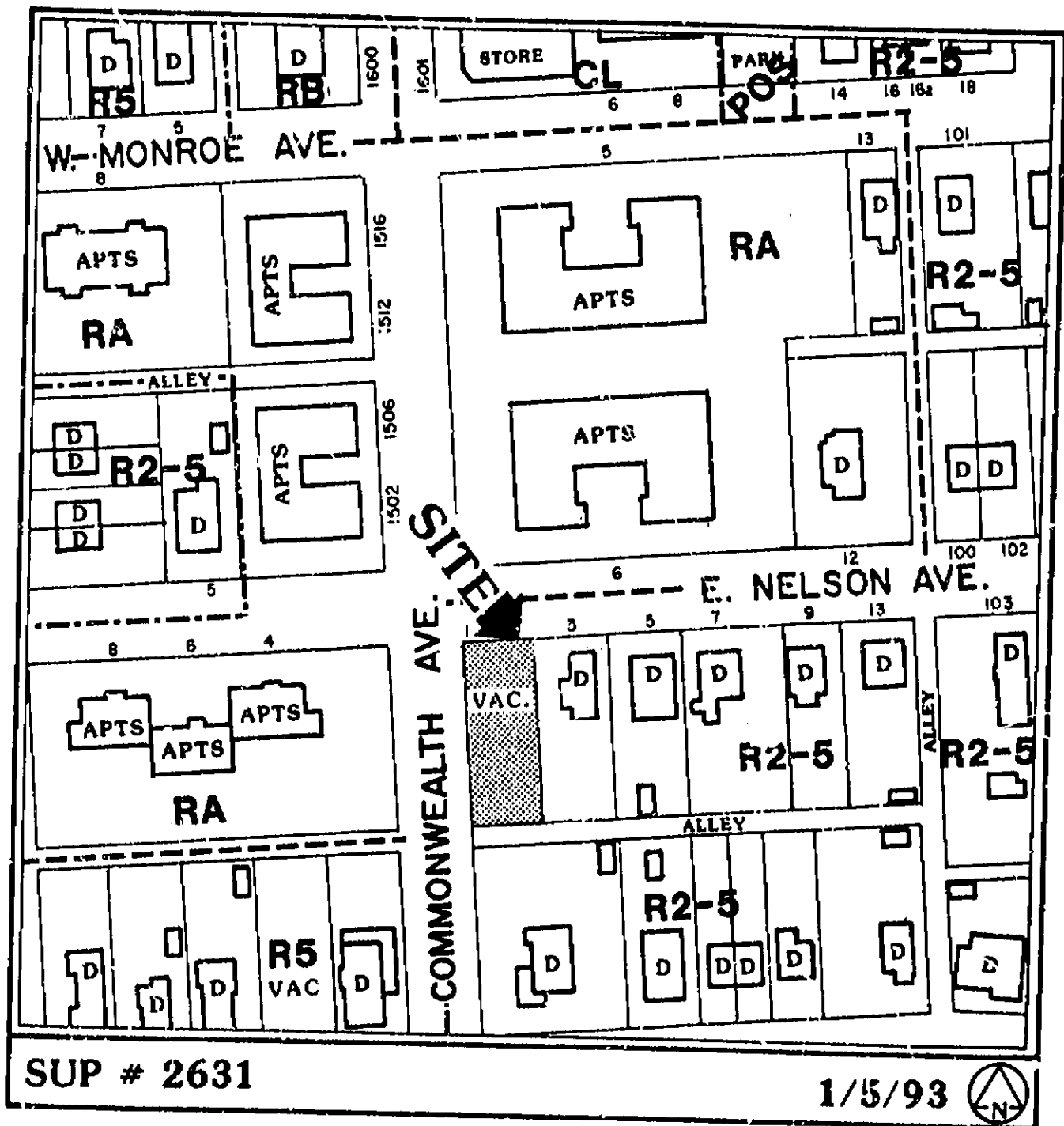
Dick Stirba, Del Ray Citizens Association, spoke in favor of the request.

CITY COUNCIL MEETING OF JANUARY 23, 1993:

ACTION: City Council approved the request subject to compliance with all applicable codes, ordinances and staff and Planning Commission recommendations, but added Condition #6 as follows:

6. The access will be from Newton Street, not Wayne Street.

The subject property and surrounding land uses are shown on the sketch below:



SUP # 2631

1/5/93



STAFF RECOMMENDATION:

Recommend approval subject to compliance with all applicable codes and ordinances and the following conditions:

1. The 30 inch Pin Oak Tree located on the lot must be preserved. (Arborist)
2. The applicant shall provide tree protection during construction to the satisfaction of the City Arborist. (Arborist)
3. No utilities or site improvements may be installed within the tree protection area approved by the City Arborist. (Arborist)
4. The dwelling shall be built in substantial conformity with the revised plans submitted on December 28, 1992. (P&CD)
5. The access through the alley to the two off-street parking spaces shall be improved to the satisfaction of the Department of Transportation and Environmental Services. (P&CD)

~~CONDITION #6 AS ADDED BY PLANNING COMMISSION:~~

6. ~~Access through the alley shall be from Wayne Street, and the applicant shall not install a curb cut from Commonwealth Avenue to the alley. (PE)~~

CONDITION #6 AS ADDED BY CITY COUNCIL:

The access will be from Newton Street, not Wayne Street. (City Council)

DISCUSSION:

1. During the month of December 1992, the applicant has met with neighbors in the East Nelson Avenue area and with the Del Ray Citizens Association. According to the applicant, agreement has been reached with the concerned parties to recommend approval of the special use permit subject to the conditions as recommended by the staff.
2. The applicant, Our Development Company, is requesting a special use permit pursuant to the provisions of Section 12-402 of the 1992 Zoning Ordinance to construct a single family detached building on a substandard lot known as 1 East Nelson Avenue.
3. The subject property, a corner lot, is one (1) lot of record with 50.01 feet of frontage on East Nelson Avenue and 130 feet of frontage on Commonwealth Avenue. The property contains 6,500 square feet. The lot is vacant and is substandard in lot width. The property has 50.00 feet of width at the building restriction line. The R-2-5 zone requires 65.00 feet.
4. The subject property is part of the original property of the Northwest Alexandria Improvement Company which was dedicated by subdivision in 1890 as part of the County of Arlington.
5. The revised plans submitted to the Zoning Office on December 28, 1992 shows a proposed single family dwelling measuring 56.00 feet by 20.00 feet. The building is shown to be located 19.00 feet from the front property line on Commonwealth Avenue, as measured to the roof overhang, and 25.00 feet from the front property line on East Nelson Avenue, as measured to the bay window. The building will have a side yard setback of 7.00 feet from the east side yard property line and approximately 43.00 feet from the south side yard property line abutting a 15.00 feet wide dedicated public alley. A detached garage and parking pad will be located on the south side of the proposed building having access into the alley.
6. On September 16, 1989, City Council amended the Zoning Ordinance regulations pertaining to the development of substandard lots in the R-20, R-12, R-8, R-5, R-2-5, and RA zones. This amendment provides regulations for determining the number and location of other lots in the immediate area to be included in a "block face" in determining whether or not the substandard lot contains at least the lot width and lot area as exhibited by more than 50 percent of the developed lots within the block face.

7. The block face, as determined on this application, is inclusive of all lots on the east and west sides of East Nelson Avenue between Newton Street and Commonwealth Avenue.
8. The block face contains thirteen (13) lots. There are six (6) lots developed by single family detached buildings, four (4) lots developed for a multi-family apartment building, and three (3) lots are vacant, of which one is the subject lot.
9. The lot areas and lot widths of the ten (10) developed lots are as follows:

<u>Address</u>	<u>Lot Area</u>	<u>Lot Width</u>
3 East Nelson Av	6,500 sf	50.00 ft
5 East Nelson Av	6,500 sf	50.00 ft
7 East Nelson Av	6,988 sf	53.60 ft
11 East Nelson Av	6,988 sf	53.60 ft
13 East Nelson Av (corner lot)	6,888 sf	52.60 ft 130.00 ft
6 East Nelson Av (corner lot)	6,500 sf	50.00 ft 130.00 ft
6 East Nelson Av	6,500 sf	50.00 ft
6 East Nelson Av	6,500 sf	50.00 ft
6 East Nelson Av	6,500 sf	50.00 ft
12 East Nelson Av	5,980 sf	46.00 ft

10. The applicant's lot at 1 East Nelson Avenue has 50.00 feet of frontage on East Nelson Avenue and contains 6,500 square feet. The subject lot contains at least the lot area and lot width as exhibited by 70 percent of the developed lots within the block face. The lot therefore meets the criteria for application for a special use permit.
11. As part of the special use permit, the applicant is requesting a modification of the R-2-5 zone regulations to reduce the required 25 foot front setback along Commonwealth Avenue to 19 feet, as measured to the roof overhang of the main building and the detached garage. The main front wall of the building and garage will be set back 20.00 feet from the front property line on Commonwealth Avenue.

Pursuant to Section 12-404 of the Zoning Ordinance relating to substandard lots, City Council may vary the minimum yard, coverage or other minimum requirements imposed by the ordinance.

12. The applicant indicates that two (2) off-street parking spaces will be provided on-site. One space will be inside a detached garage and one space will be on a parking slab next to the garage.
13. Based upon the available city records, it appears that the dwellings on the east and west sides of East Nelson Avenue between Commonwealth Avenue and Newton Street are set back between 15.00 feet to 30.00 feet from the front property line on East Nelson Avenue.
14. Section 12-402 of the Zoning Ordinance permits construction on a substandard lot with approval of a special use permit.
15. Master Plan/Zoning: The subject property is zoned R-2-5, residential and is located in the Potomac West Small Area Plan.
16. The applicant is advised that in accordance with Section 11-506(c) of the 1992 Zoning Ordinance, construction or operation shall be commenced and diligently and substantially pursued within one year of the date of granting of a special use permit by City Council or the special use permit shall become void.

STAFF ANALYSIS:

The subject property is part of the subdivision known as the Northwest Alexandria Improvement Company, which was developed over 102 years ago. The property meets the criteria for application for a special use permit.

Staff believes that this request is reasonable and in keeping with the character of other single family detached lots in the area. The construction of a single family detached dwelling on the subject lot will be in compliance with all applicable zoning regulations with the exception of a reduced front setback along the front property line on Commonwealth Avenue which the City Council can waive. Staff supports this request for a special use permit.

CITY DEPARTMENT COMMENTS

Legend: C - code requirement R - recommendation
S - suggestion F - finding

Transportation & Environmental Services:

F-1 No comment.

Public Safety (Code Enforcement):

- C-1 New construction must comply with the current edition of the Uniform Statewide Building Code (USBC). See (USBC Section 309.5 and Section 101.4)
- C-2 A wall survey will be required after the walls have been raised to the first joist bearing level above grade (USBC Section 105.5.1).
- C-3 Drainage must not run toward adjacent property. Run-off water must be hard piped (schedule 40 PVC pipe; diameter > 3") to the storm sewer, inlet box, building subdrain, street flume or curb.
- C-4 The applicant must obtain a certificate of occupancy prior to occupancy (use) of the structure (USBC Section 115.1).

Health Department:

F-1 No comments.

Police Department:

- S-1 Consult with Alexandria Police Department Crime Prevention Unit regarding locking hardware.

Historic Alexandria (Archaeology):

- F-1 Evaluation of this property indicates that the potential for significant archaeological resources to be present is low

No archaeological action required.

Recreation Department (Arborist):

- R-1 Thirty inch (30") Pin Oak Tree located on Lot #500 must be preserved.
- R-2 Provide tree protection to the satisfaction of the City Arborist.
- R-3 No utilities, or site improvements may be installed within the tree protection area approved by the City Arborist.

REPORT ATTACHMENTS

SPECIAL USE PERMIT # 2631

Information for Special Use Permit in accordance with the provisions of Article XI, Section 11-503(A) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

1. Identify the applicant of the subject property of this application:

- Owner
- Contract Purchaser
- Lessee
- Other _____

State the name, address and percent of ownership of any person owning an interest in excess of 10 percent in a corporation or partnership of this application.

Our Development Company is a Virginia corporation. The sole shareholder is Richard E. Heapes. Richard Heapes' address is 7708 Elba Road, Alexandria, Virginia 22306.

2. Submit a map showing the location of the property in question as well as all property within 300 feet of the boundaries of the property for which this special use permit is sought, including as to all property identified, the following information:

- A. existing uses
- B. existing zoning
- C. land use designation contained in the master plan

3. Describe in detail the operation of the proposed use:

The applicant, Our Development Company, a Virginia corporation, is the owner of the unimproved lot of land located on the southeast corner of the intersection of Commonwealth Avenue and East Nelson Avenue in the subdivision of the land of Northwest Alexandria Improvement Company (the "Property"). The Property was subdivided in 1890 when the land was located in Arlington County, Virginia.

The Property is defined as a substandard lot under the provisions of Section 12-400 of the Alexandria Zoning Ordinance by virtue of its noncompliance with the lot with requirements of the R-2-5/Single and Two-Family zone regulations. Pursuant to Section 3-505(b), the required lot width at the building lot shall be 65 feet. The lot width of the Property as originally subdivided in 1890 is 50 feet.

The applicant is requesting a Special Use Permit pursuant to the provisions of Section 12-402 of the Alexandria Zoning Ordinance to develop the unimproved and noncomplying lot by constructing a single family dwelling. In 1984 the Planning Commission and City Council granted a then contract purchaser of the Property a Special Use Permit to permit the construction of a single family dwelling on the Property. Additionally, the Board of Zoning Appeals granted a 6 foot variance from the 25 foot front yard setback requirement along Commonwealth Avenue to permit the single family dwelling to have 24 feet in width.

The applicant is requesting as part of their Special Use Permit a modification of the R-2-5 zone regulations identical to the request granted by the Board of Zoning Appeals in 1984 to reduce the required 25 foot setback along Commonwealth Avenue from 25 feet to 19 feet. Without relief from the strict application of the front yard setback requirement, the remaining buildable area on which the single family dwelling could be constructed would be 16 feet. Except for the modification the applicant is requesting, the building will conform with the R-2-5 zone regulations.

The proposed development of the Property as a single family residence would not unreasonably impair the adequate supply of air and light to adjacent properties, will not diminish or impair the established property values in the surrounding area and will be compatible with the existing neighborhood character.

4. Describe plans to control any potential impacts of the proposed use on the nearby community, including:

A. Noise levels

1. Noise levels anticipated from all mechanical equipment.

All mechanical equipment will be selected and located on the Property to comply with the noise levels permitted by the Alexandria City Code.

2. A statement as to whether the anticipated noise complies with the levels permitted by chapter 5 of title 11 of the City Code.

All mechanical equipment will comply with the noise levels permitted by the Alexandria City Code.

3. Plans to control these anticipated noise levels.

The applicant will select mechanical equipment and locate it on the Property to insure compliance with the noise levels permitted by the Alexandria City Code.

4. Plans to control noise levels emanating from patrons.

Not applicable.

- B. Odors - Methods to be used to control odors emanating from the use:

It is not anticipated that offensive odors will emanate from the use of the Property as a single family residence.

- C. Trash and Litter

1. The type and volume of trash and garbage the proposed use will generate.

The type and volume of trash and garbage will be that generally associated with a single family residence.

2. The planned frequency of trash collection.

City pick-up.

3. Planned methods to prevent littering on the property, streets and nearby properties.

It is not anticipated that trash and litter will accumulate on the Property or adjacent public rights of way as a result of the use of the Property as a single family residence.

- D. Loading/Unloading

1. Availability and adequacy of off-street loading facilities.

Not applicable.

2. Hours and frequency of off-street loading.

Not applicable.

E. Parking

1. Location of parking either on the site or within 300 feet of the site.

The 2 parking spaces required by the Zoning Ordinance to serve the single family dwelling are provided on the Property.

2. Number of spaces available to serve residents, employees and patrons during the hours of operation.

In addition to any available on street parking, 2 parking spaces are provided on site.

F. Streets - The design capacity of all streets providing access to the property.

The City of Alexandria Major Thoroughfare Plan designates Commonwealth Avenue as a primary collector and East Nelson Avenue as a local street.

G. Use Capacity

1. The estimated number of patrons, clients, pupils and other such users.

The dwelling to be constructed on the Property will be a single family dwelling. Its occupancy will be in accordance with the regulations of the City of Alexandria.

2. The proposed number of employees, staff and other personnel.

Not applicable.

H. Hours - The proposed hours and days of operation of the use.

Not applicable.

I. Signs - Existing and proposed signs to be erected or utilized on the property.

Not applicable.

J. Hazardous Materials - Name monthly quantity and specific disposal method of any state or federally defined hazardous materials or waste to be handled, stored or generated on the property.

Not applicable.

K. Organic Compounds - Name monthly quantity and specific disposal method of any paint, ink or lacquer thinner, cleaning or degreasing solvent to be handled, stored, processed or generated on the property.

Not applicable.

L. Security - Methods proposed to ensure the safety of residents, employees and patrons.

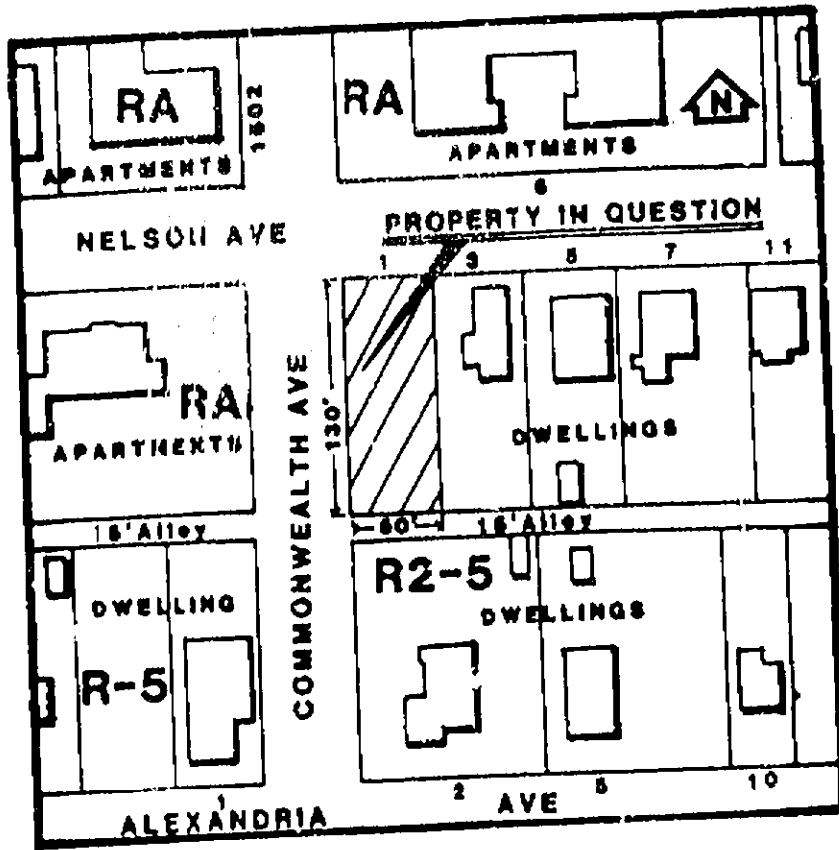
Not applicable.

If property owner or applicant is being represented by an authorized agent such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which they are employed have a business license to operate in the City of Alexandria, Virginia?

- Yes - Provide proof of current City business license
 No - Said agent shall be required to obtain a business license prior to filing application.

RE\Heapes.App

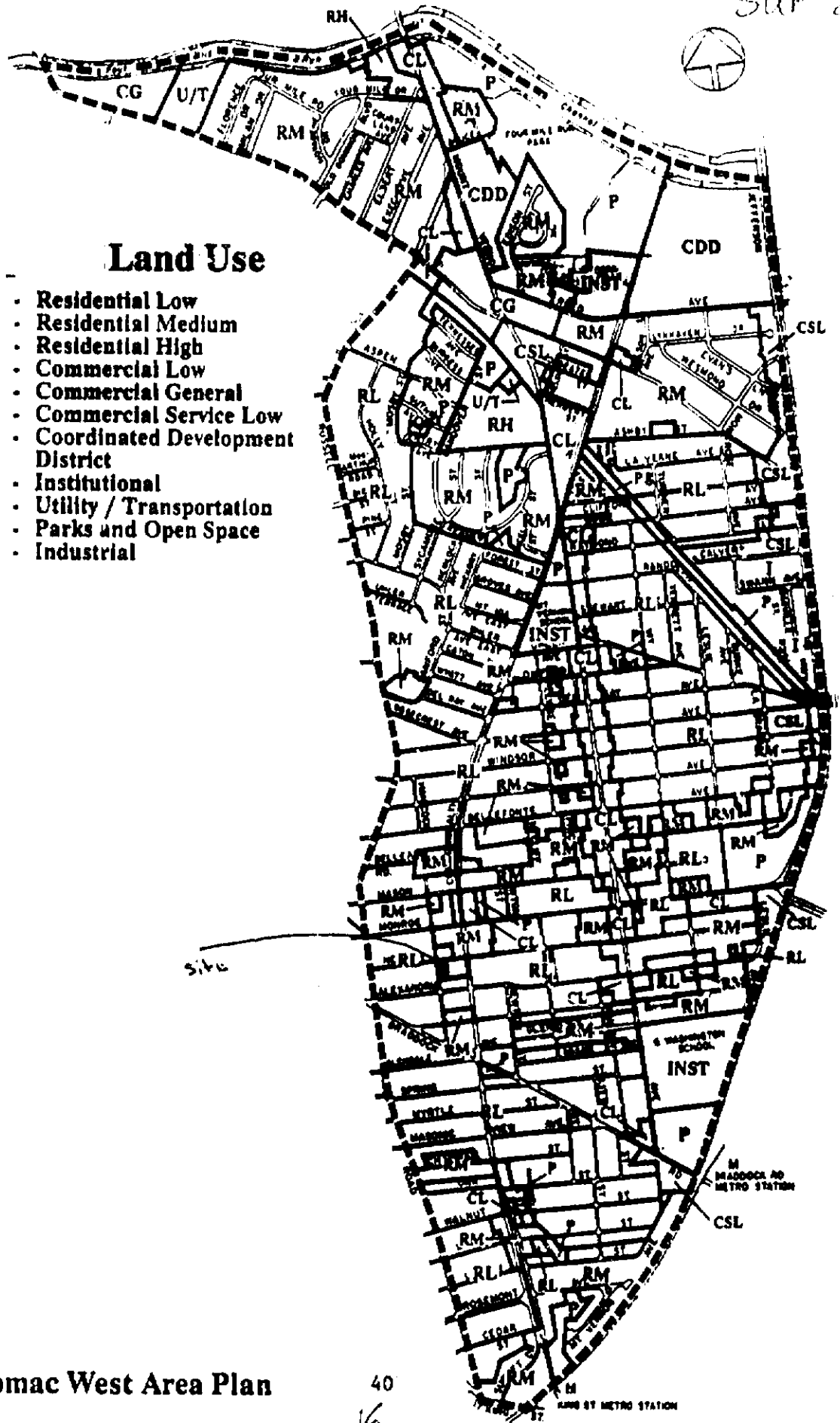
EXISTING USES





Land Use

- RL - Residential Low
- RM - Residential Medium
- RH - Residential High
- CL - Commercial Low
- CG - Commercial General
- CSL - Commercial Service Low
- CDD - Coordinated Development District
- INST - Institutional
- U/T - Utility / Transportation
- P - Parks and Open Space
- I - Industrial

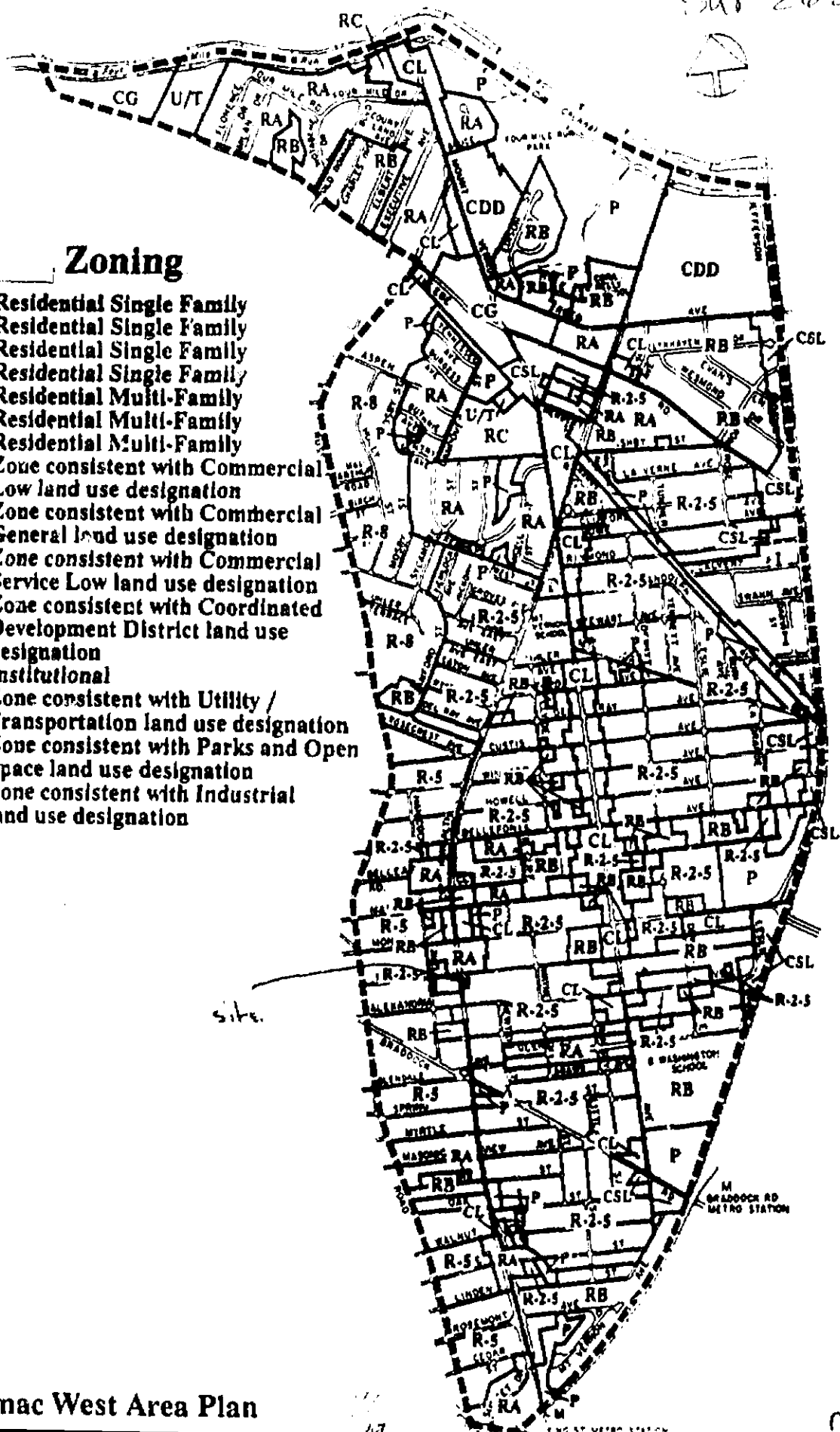


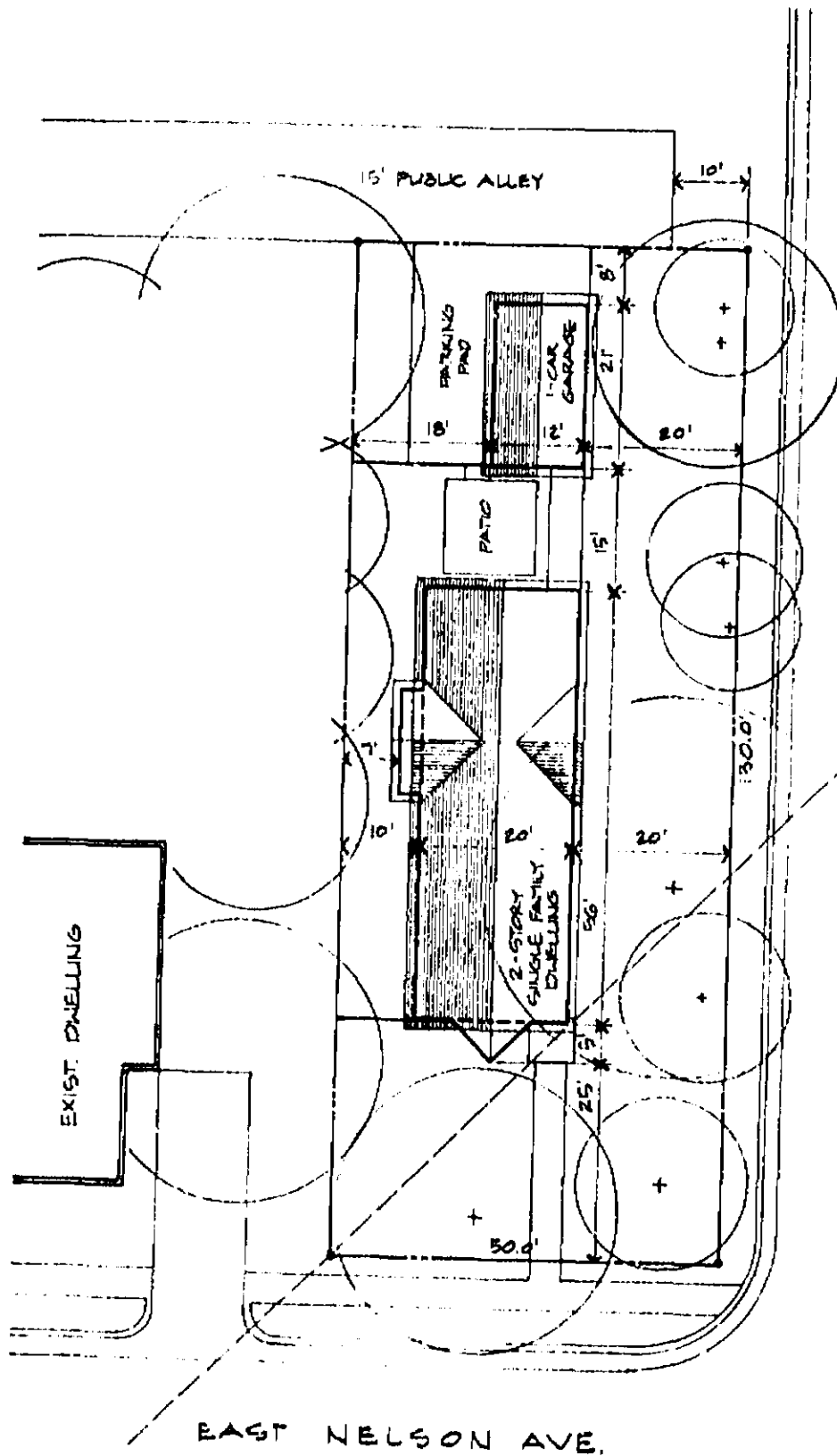


Zoning

- R-5 • Residential Single Family
- R-8 • Residential Single Family
- R-12 • Residential Single Family
- R-2-5 • Residential Single Family
- R-A • Residential Multi-Family
- R-B • Residential Multi-Family
- RC • Residential Multi-Family
- CL • Zone consistent with Commercial Low land use designation
- CG • Zone consistent with Commercial General land use designation
- CSL • Zone consistent with Commercial Service Low land use designation
- CDD • Zone consistent with Coordinated Development District land use designation
- INST • Institutional
- U/T • Zone consistent with Utility / Transportation land use designation
- P • Zone consistent with Parks and Open Space land use designation
- I • Zone consistent with Industrial land use designation

site.





COMMONWEALTH AVE.

SITE PLAN

1/16" = 1'-0"
 JAMES T. VIVIANO, AIA
 ARCHITECT

EAST NELSON AVE.

ZONING TABULATION

1. Zone: R-2-5 / Single and Two Family Zone
2. Proposed use: Single Family Dwelling
3. Lot Requirements:
 - A. Minimum Lot Size - Corner Lot
Required: 6,500 s.f.
Provided: 6,500 s.f.
 - B. Minimum Land Area - Single Family Dwelling
Required: 5,000 s.f.
Provided: 6,500 s.f.
 - C. Minimum Lot Width - Corner Lot
Required: 65 feet
Provided: 50 feet *
 - D. Minimum Lot Frontage - Corner Lot
Required: 40 feet
Provided: 50 feet
4. Yard Requirements:
 - A. Minimum Front Yard
Required: 25 feet
Provided: 25 feet at Nelson; 20 feet at Commonwealth *
 - B. Minimum Side Yard
Required: Setback Ratio of 1:3; 7 ft. Min.
Provided: 10 feet; 7 ft. Min.
 - C. Minimum Rear Yard: Not Applicable
5. Maximum Floor Area Ratio
Permitted: $6,500 \times 0.45 \text{ FAR} = 2,925 \text{ s.f.}$
Provided: $2,800 \text{ s.f.} / 6,500 \text{ s.f.} = 0.43 \text{ FAR}$

* application has been prepared for a special use permit

6. Maximum Building Height
Permitted: 35 feet
Provided : 27 feet; 2-stories

7. Off-Street Parking:
Required: 2 spaces
Provided: 2 spaces

Del Ray Citizens Association

P.O. Box 2233

Alexandria, Va. 22301

22 December 1992

Sheldon Lynn
Planning Director
Alexandria City Hall
Alexandria, Va. 22314

Re: SUP for 1 East Nelson Ave.

Dear Mr. Lynn,

Developer Richard Heeps met with neighbors on Sunday, Dec. 20, to discuss his proposal to build a single-family house at 1 East Nelson Ave. Our discussion ranged from design aspects of the house to usage of the alley behind the lot to installation of a sidewalk along Commonwealth Avenue. Consensus was reached on the following points:

- The proposed design as reflected in site plan and elevation drawings was deemed satisfactory overall. In general, the neighbors believe the design as presented is compatible with architecture in Del Ray and is the best that can be expected given the site's zoning envelope.


- The developer has agreed that access to parking will be via the alley off of Newton Avenue, and that no access will be permitted from Commonwealth Ave. The developer further has represented that the alley restriction will be made part of the deed conveyed to the buyer of the developed property. Neighbors request that T&ES maintain the unused portion of alley off of Commonwealth Avenue with suitable plantings.

Unresolved: Neighbors and the developer were unable to reach agreement on exactly where the alley should be closed.

- Neighbors agreed that the developer should install a sidewalk along Commonwealth Avenue for the benefit of pedestrians, particularly children, making their way from the Alexandria Avenue area to the neighborhood shopping center at Monroe and Commonwealth avenues. The developer indicated his willingness to comply with this requirement.

A representative of the association will be available at the Planning Commission meeting in January to comment on these or any other matters of concern. As always, please feel to contact me if you have any questions about these comments.

Sincerely,




Dick Stirba
Land Use Chairman
739-6411 (day)
739-0843 (evenings)

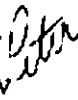
City of Alexandria, Virginia

MEMORANDUM

DATE: December 24, 1992

TO: Sheldon Lynn, Director
Planning & Community Development

THROUGH: Robert L. Crabill, Chief
Special Projects 

FROM: Peter H. Smith, Principal Staff
Board of Architectural Review 

RE: Proposed Design for Residence at 1 East Nelson Avenue

Earlier this week, I met with a representative of Our Development Company and James T. Viviano, AIA, the architect for the proposed residence at 1 East Nelson Avenue. As you know, they have applied for a Special Use Permit to construct this residence because of a substandard lot.

The proposed design is considerably improved over the conceptual design that had been put forth previously. As presently proposed, the structure is a two and a half story bungalow style structure with a one story automobile garage to the rear which is visually connected to the residence with an arbor. The Commonwealth Avenue elevation is quite symmetrical with the exception of a large dormer with verge board which divides the elevation into 2/3 - 1/3 proportions. The East Nelson elevation has a prominent triangular shaped bay next to the entrance way, though one might quibble with a triangular bay in favor of one that provides a more genial transition of the hard rectilinear lines of the front facade. Casement windows will be used throughout the house and the proposed light configuration ties the building to a Prairie School vocabulary which is reflective of the architectural styles found within the neighborhood. The siding materials proposed to be used -- wood shingles on the first floor level and German siding at the second floor level -- are appropriate to the stylistic intentions of the structure and sympathetic to those found within the surrounding area. The design also makes use of the relatively narrow linear lot by providing a building wall along the lot face. It is my conclusion that the design of the proposed residence is appropriate to the neighborhood.

cc: Charles B. Moore, Jr., Zoning Administrator

SUP 2631

Patti A. Rounsevell
6 East Alexandria Avenue
Alexandria, Virginia 22301
(703) 836-3720

December 29 1992

Members of the Planning Commission
City of Alexandria
301 King Street
Alexandria, Virginia 22314

Dear Mr. Chairman and Members of the Commission,

I live near the property at Nelson and Commonwealth Avenues, currently under consideration for development of a single-family house. My house is behind and one lot over from the Nelson Avenue property. Richard Heapes and Jim Viviano from Our Development Company came to our house on December 20, 1992, to discuss their plans for the project. My neighbor, Marty King, and two representatives of the Del Ray Civic Association also attended the meeting.

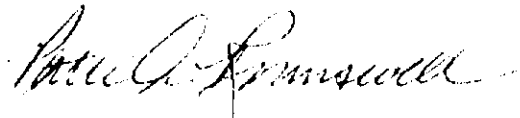
I am pleased that the developer will only be building one house on the lot and on the whole I think the design will fit in with the neighborhood. The siding and light color of the house should blend in well with surrounding properties. However, I am concerned that the fenestration is not typical of Del Ray.

I understand that T&ES has recommended that a sidewalk be installed along Commonwealth Avenue. **This sidewalk will enhance the neighborhood, and I support its installation.** To save some of the existing trees, the sidewalk could meander closer to the curb than the standard would allow.

Ms. King and I are both concerned about the possibility that the alley may be opened by installing a curb cut at Commonwealth Avenue. Currently there is no access from the alley to Commonwealth. We do not have vehicular traffic behind our houses. We enjoy the privacy and security made possible because the alley serves only those houses that back on it. The alley was **not** meant to serve as a cut through to Mt. Vernon Avenue, but it will become one if the alley is opened. **Therefore, I would urge you to approve this application conditioned upon a proffer from the developer that a curb cut not be installed.**

I regret that I cannot attend your January 5 meeting because of a class I am taking. In my absence, I hope you will consider these remarks. Thank you for your consideration.

Sincerely,



Patti A. Rounsevell

DEPARTMENT REPORT

SUBDIVISION VACATION ENCROACHMENT SPECIAL USE PERMIT # 2631

DATE: 12-22-92 PB 432

REVISED
PLAN

FROM: PLANNING & COMMUNITY DEVELOPMENT - ZONING ADMINISTRATION
Contact: Peter Leiberg (838-4688)

- TO:
- TRANSPORTATION & ENVIRONMENTAL SERVICES
 - CODE ENFORCEMENT
 - HEALTH DEPARTMENT
 - POLICE DEPARTMENT
 - HISTORIC ALEXANDRIA - ARCHAEOLOGY Steve Shepherd
 - RECREATION DEPARTMENT - ARBORIST
 - HUMAN SERVICES - SOCIAL SERVICES
 - REAL ESTATE ASSESSMENTS
 - PLANNING DEPARTMENT - B.A.R.
 - SANITATION AUTHORITY

This request is scheduled for Planning Commission consideration on: JAN. 5, 1993

Please return this Department Report with your comments by: JAN. DEC. 29 1992

APPLICANT: OUR DEVELOPMENT COMPANY by DUNCAN W. BLAIR, atty. PHONE: 838-5108

LOCATION: 1 EAST NELSON AV. ZONE: R2.5

PROPOSAL: CONSTRUCT SINGLE FAMILY DWELLING ON
SUBSTANDARD LOT

.....
DEPARTMENT COMMENT

Preface comments with: C = code requirement R = recommendation S = suggestion F = finding

Evaluation of this property indicates that the potential for significant archaeological resources to be present is low. No archaeological action required.

Steve Shepherd
ARCHAEOLOGIST 838-4399

J. T. Feamster DEPARTMENT HEAD
SIGNATURE
Jan 5-93
DATE

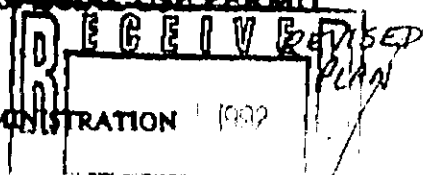
DEPARTMENT REPORT

2631

SUBDIVISION VACATION ENCROACHMENT

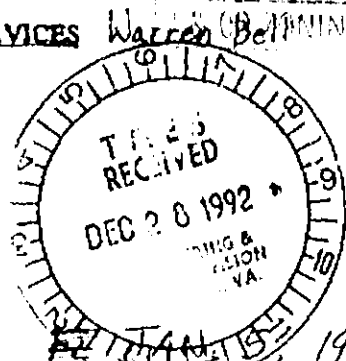
SPECIAL USE PERMIT

DATE: 12-22-92



FROM: PLANNING & COMMUNITY DEVELOPMENT - ZONING ADMINISTRATION
Contact: Peter Leiberg (838-4688)

- TO:
- TRANSPORTATION & ENVIRONMENTAL SERVICES
 - CODE ENFORCEMENT
 - HEALTH DEPARTMENT
 - POLICE DEPARTMENT
 - HISTORIC ALEXANDRIA - ARCHAEOLOGY
 - RECREATION DEPARTMENT - ARBORIST
 - HUMAN SERVICES - SOCIAL SERVICES
 - REAL ESTATE ASSESSMENTS
 - PLANNING DEPARTMENT - B.A.R.
 - SANITATION AUTHORITY



This request is scheduled for Planning Commission consideration on: JAN. 15, 1993

Please return this Department Report with your comments by: JAN. DEC. 29 1992

APPLICANT: OUR DEVELOPMENT COMPANY by DUNCAN W. BLAIR, atty. PHONE: 838-5108

LOCATION: 1 EAST NELSON AV. ZONE: R2.5

PROPOSAL: CONSTRUCT SINGLE FAMILY DWELLING ON SUBSTANDARD LOT

DEPARTMENT COMMENT
Preface comments with: C = code requirement R = recommendation S = suggestion F = finding

F-1 The site plan submitted with the present S.U.P. does not agree with the Plot Plan previously submitted to Transportation & Environmental Services.

Provide a detailed Plot Plan along with this application.

Warren Bell
SIGNATURE
12/30/92
DATE

DEPARTMENT REPORT

2631

SUBDIVISION VACATION ENCROACHMENT SPECIAL USE PERMIT

DATE: 12-22-92

REVISED
PLAN

FROM: PLANNING & COMMUNITY DEVELOPMENT - ZONING ADMINISTRATION
Contact: Peter Leiberg (838-4688)

- TO:
- TRANSPORTATION & ENVIRONMENTAL SERVICES
 - CODE ENFORCEMENT
 - HEALTH DEPARTMENT Rob Pritchell
 - POLICE DEPARTMENT
 - HISTORIC ALEXANDRIA - ARCHAEOLOGY
 - RECREATION DEPARTMENT - ARBORIST
 - HUMAN SERVICES - SOCIAL SERVICES
 - REAL ESTATE ASSESSMENTS
 - PLANNING DEPARTMENT - B.A.R.
 - SANITATION AUTHORITY

This request is scheduled for Planning Commission consideration on: FE JAN. 5, 1993

Please return this Department Report with your comments by: JAN. DEC. 29, 1992

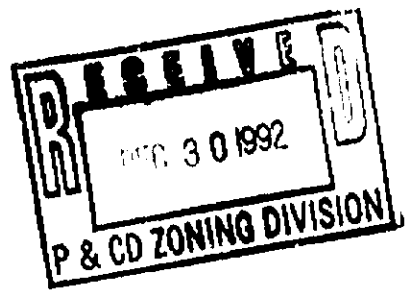
APPLICANT: OUR DEVELOPMENT COMPANY by _____
DUNCAN W. BLAIR, atty. PHONE: 838-5108

LOCATION: 1 EAST NELSON AV. ZONE: R2.5

PROPOSAL: CONSTRUCT SINGLE FAMILY DWELLING ON
SUBSTANDARD LOT

DEPARTMENT COMMENT
Preface comments with: C = code requirement R = recommendation S = suggestion P = finding

P: The Health Department has no objections to the proposed use.



Robert J. Pritchell
Director, Environmental Health

SIGNATURE
December 29, 1992

DATE

DEPARTMENT REPORT

2631

SUBDIVISION VACATION ENCROACHMENT SPECIAL USE PERMIT

DATE: 12-22-92

REVISED
PLAN

FROM: PLANNING & COMMUNITY DEVELOPMENT - ZONING ADMINISTRATION
Contact: Peter Leiberg (838-4688)

- TO:
- TRANSPORTATION & ENVIRONMENTAL SERVICES
 - CODE ENFORCEMENT
 - HEALTH DEPARTMENT
 - POLICE DEPARTMENT *Roger Keegan*
 - HISTORIC ALEXANDRIA - ARCHAEOLOGY
 - RECREATION DEPARTMENT - ARBORIST
 - HUMAN SERVICES - SOCIAL SERVICES
 - REAL ESTATE ASSESSMENTS
 - PLANNING DEPARTMENT - B.A.R.
 - SANITATION AUTHORITY

This request is scheduled for Planning Commission consideration on: JAN. 5, 1993

Please return this Department Report with your comments by: JAN. DEC. 29, 1992

APPLICANT: OUR DEVELOPMENT COMPANY by DUNCAN W. BLAIR, atty. PHONE: 838-5108

LOCATION: 1 EAST NELSON AV. ZONE: R-2.5

PROPOSAL: CONSTRUCT SINGLE FAMILY DWELLING ON
SUBSTANDARD LOT

DEPARTMENT COMMENT

Preface comments with: C = code requirement R = recommendations S = suggestion P = finding

(P.S. Consult with Alexandria
Police Dept. Crime Prevention
Unit concerning Security
hardware.

[Signature]
SIGNATURE
1-5-93
DATE

DEPARTMENT REPORT

SUBDIVISION VACATION ENCROACHMENT SPECIAL USE PERMIT # 2631

DATE: 12-22-92

REVISED
PLAN

FROM: PLANNING & COMMUNITY DEVELOPMENT - ZONING ADMINISTRATION
Contact: Peter Leiberg (838-4688)

TO: TRANSPORTATION & ENVIRONMENTAL SERVICES
 CODE ENFORCEMENT
 HEALTH DEPARTMENT
 POLICE DEPARTMENT
 HISTORIC ALEXANDRIA - ARCHAEOLOGY
 RECREATION DEPARTMENT - ARBORIST
 HUMAN SERVICES - SOCIAL SERVICES
 REAL ESTATE ASSESSMENTS
 PLANNING DEPARTMENT - B.A.R.
 SANITATION AUTHORITY

This request is scheduled for Planning Commission consideration on: JAN. 5, 1993

Please return this Department Report with your comments by: JAN. DEC. 29, 1992

APPLICANT: OUR DEVELOPMENT COMPANY by DUNCAN W. BLAIR, atty. PHONE: 838-5108

LOCATION: 1 EAST NELSON AV. ZONE: R2.5

PROPOSAL: CONSTRUCT SINGLE FAMILY DWELLING ON
SUBSTANDARD LOT

.....
DEPARTMENT COMMENT

Preface comments with: C = code requirement R = recommendation S = suggestion P = finding

SIGNATURE

DATE

DEPARTMENT REPORT

2631

SUBDIVISION

VACATION

ENCROACHMENT

SPECIAL USE PERMIT

DATE: 9-29-92

FROM: PLANNING & COMMUNITY DEVELOPMENT - ZONING ADMINISTRATION

- TO:
- TRANSPORTATION & ENVIRONMENTAL SERVICES
 - CODE ENFORCEMENT
 - HEALTH DEPARTMENT
 - POLICE DEPARTMENT
 - HUMAN SERVICES - SOCIAL SERVICES
 - HISTORIC ALEXANDRIA - ARCHAEOLOGY
 - RECREATION - ARBORIST
 - REAL ESTATE ASSESSMENTS
 - SANITATION AUTHORITY
 - 12-8-92 PLANNING DEPARTMENT - ~~MISS~~ NAN LAURENCE

The following request is scheduled for consideration by the Alexandria Planning Commission on NOV. 5

APPLICANT: OUR DEVELOPMENT COMPANY by DUNCAN W. BLAIR, atty. PHONE: 703/838-5108

LOCATION: 1 EAST NELSON AV. ZONE: R2-5

PROPOSAL: CONSTRUCT A DWELLING ON A SUBSTANDARD LOT

Please return this report with your comments by: OCT. 5

DEPARTMENT COMMENT

Preface comments with: C - code requirement R - recommendation S - suggestion F - finding

ENCLOSURES:

- Floor Plans
- Plat
- Letter of Intent
- Form 7-6-192
- Application

SIGNATURE

DATE

PLEASE RETURN PLANS NOT NEEDED FOR YOUR FILES

DEPARTMENT REPORT

2631

SUBDIVISION VACATION ENCROACHMENT SPECIAL USE PERMIT

REVISED PLAN

DATE: 12-22-92

FROM: PLANNING & COMMUNITY DEVELOPMENT - ZONING ADMINISTRATION
Contact: Peter Leiberg (838-4688)

- TO:
- TRANSPORTATION & ENVIRONMENTAL SERVICES
 - ~~CODE ENFORCEMENT~~ Paul Kaydauskas
 - HEALTH DEPARTMENT
 - POLICE DEPARTMENT
 - HISTORIC ALEXANDRIA - ARCHAEOLOGY
 - RECREATION DEPARTMENT - ARBORIST
 - HUMAN SERVICES - SOCIAL SERVICES
 - REAL ESTATE ASSESSMENTS
 - PLANNING DEPARTMENT - B.A.R.
 - SANITATION AUTHORITY

RECEIVED
DEC 23 1992
CODE ENFORCEMENT

This request is scheduled for Planning Commission consideration on: FE JAN. 5, 1993

Please return this Department Report with your comments by: JAN. DEC. 29, 1992

APPLICANT: OUR DEVELOPMENT COMPANY by DUNCAN W. BLAIR, atty. PHONE: 838-5108

LOCATION: 1 EAST NELSON AV. ZONE: R-2.5

PROPOSAL: CONSTRUCT SINGLE FAMILY DWELLING ON SUBSTANDARD LOT

DEPARTMENT COMMENT

Preface comments with: C = code requirement R = recommendation S = suggestion P = finding

- C-1. New construction must comply with the current edition of the Uniform Statewide Building Code (USBC). See USBC §309.5 and §101.4.
- C-2. A wall survey will be required after the walls have been raised to the first joist bearing level above grade (USBC §105.5.1)..
- C-3. Drainage must not run toward adjacent property. Run-off water must be hard piped (schedule 40 PVC pipe; diameter ≥ 3") to the storm sewer, inlet box, building subdrain, street flume or curb.
- C-4. The applicant must obtain a Certificate of Occupancy prior to occupancy (use) of the structure (USBC §115.1).

Donald K. Cannon
SIGNATURE
12/28/92
DATE

DEPARTMENT REPORT

SUBDIVISION

VACATION

ENCROACHMENT

2631
 SPECIAL USE PERMIT

DATE:

9-29-92

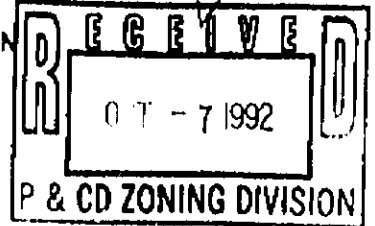
PTS 432

FROM:

PLANNING & COMMUNITY DEVELOPMENT - ZONING ADMINISTRATION

TO:

- TRANSPORTATION & ENVIRONMENTAL SERVICES
- CODE ENFORCEMENT
- HEALTH DEPARTMENT
- POLICE DEPARTMENT
- HUMAN SERVICES - SOCIAL SERVICES
- HISTORIC ALEXANDRIA - ARCHAEOLOGY *Steve Shepherd*
- RECREATION - ARBORIST
- REAL ESTATE ASSESSMENTS
- SANITATION AUTHORITY
- PLANNING DEPARTMENT - B.A.R.



The following request is scheduled for consideration by the Alexandria Planning Commission on NOV. 5

APPLICANT:

OUR DEVELOPMENT COMPANY by

DUNCAN W. BLAIR, atty.

PHONE 703/838-5108

LOCATION

1 EAST NELSON AV.

ZONE R 2-5

PROPOSAL:

CONSTRUCT A DWELLING ON A SUBSTANDARD LOT

Please return this report with your comments by OCT. 5

DEPARTMENT COMMENT

Preface comments with

C - code requirement

R - recommendation

S - suggestion

F - finding

Evaluation of this property indicates that the potential for significant archaeological resources to be present is low.

No archaeological action required.

Steven J. Shepherd
 ARCHAEOLOGIST 838-4399

Janet P. Pedersen
 SIGNATURE DEPARTMENT HEAD

10/6/92

DATE

PLEASE RETURN PLANS NOT NEEDED FOR YOUR FILES

ENCLOSURES:

- Floor Plans
- Plat
- Letter of Intent
- Form 7-6-192
- Application

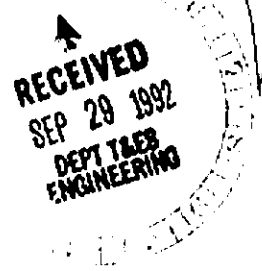
DEPARTMENT REPORT

2631

SUBDIVISION VACATION ENCROACHMENT SPECIAL USE PERMIT

DATE: 9-29-92
FROM: PLANNING & COMMUNITY DEVELOPMENT - ZONING ADMINISTRATION

- TO:
- TRANSPORTATION & ENVIRONMENTAL SERVICES *Nancy Bell*
 - CODE ENFORCEMENT
 - HEALTH DEPARTMENT
 - POLICE DEPARTMENT
 - HUMAN SERVICES - SOCIAL SERVICES
 - HISTORIC ALEXANDRIA - ARCHAEOLOGY
 - RECREATION - ARBORIST
 - REAL ESTATE ASSESSMENTS
 - SANITATION AUTHORITY
 - PLANNING DEPARTMENT - B.A.R.



The following request is scheduled for consideration by the Alexandria Planning Commission on NOV. 5

APPLICANT: OUR DEVELOPMENT COMPANY by DUNCAN W. BLAIR, atty. PHONE 703/838-5108

LOCATION: 1 EAST NELSON AV. ZONE R2-5

PROPOSAL: CONSTRUCT A DWELLING ON A SUBSTANDARD LOT

Please return this report with your comments by OCT. 5

DEPARTMENT COMMENT

Preface comments with: C - code requirement R - recommendation S - suggestion F - finding

NO COMMENT.

- ENCLOSURES:
- Floor Plans
 - Plat
 - Letter of Intent
 - Form 7-6-182
 - Application

Nancy Bell
SIGNATURE

9/4/92
DATE

PLEASE RETURN PLANS NOT NEEDED FOR YOUR FILES

DEPARTMENT REPORT

SUBMISION

VACATION

ENCROACHMENT

2631
 SPECIAL USE PERMIT

DATE:

9-29-92

FROM:

PLANNING & COMMUNITY DEVELOPMENT - ZONING ADMINISTRATION

TO:

- TRANSPORTATION & ENVIRONMENTAL SERVICES
- CODE ENFORCEMENT *Joel Wilb...*
- HEALTH DEPARTMENT
- POLICE DEPARTMENT
- HUMAN SERVICES - SOCIAL SERVICES
- HISTORIC ALEXANDRIA ARCHAEOLOGY
- RECREATION - ARBORIST
- REAL ESTATE ASSESSMENTS
- SANITATION AUTHORITY
- PLANNING DEPARTMENT - B.A.R.

RECEIVED
SEP 29 1992
CODE ENFORCEMENT

The following request is scheduled for consideration by the Alexandria Planning Commission on

NOV. 5

APPLICANT:

OUR DEVELOPMENT COMPANY by

DUNCAN W. BLAIR, atty.

PHONE 703/838-5108

LOCATION:

1 EAST NELSON AV.

ZONE R 2-5

PROPOSAL:

CONSTRUCT A DWELLING ON A SUBSTANDARD LOT

Please return this report with your comments by OCT. 5

DEPARTMENT COMMENT

Preface comments with

C - code requirement

R - recommendation

S - suggestion

F - finding

- C-1: New construction must comply with the current edition of the Uniform Statewide Building Code (USBC). See USBC §309.5 and §101.0.
- C-2: A wall survey will be required after the walls have been raised to the first joist bearing level above grade (USBC §105.5.1)
- C-3: Roof drainage must not run toward adjacent property. Run-off water must be hard piped (schedule 40 PVC pipe; diameter ≥ 3") to the storm sewer, inlet box, building subdrain, street flume or curb.

ENCLOSURES:

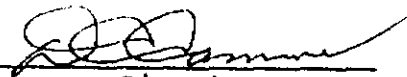
- Floor Plans
- Plat
- Letter of Intent
- Form 7-6-182
- Application

[Signature]
SIGNATURE

10-5-92
DATE

PLEASE RETURN PLANS NOT NEEDED FOR YOUR FILES

- C-5 This business expansion constitutes a change of use and will require a new Certificate of Occupancy prior to continued occupancy of the new use of the structure (USBC §115.4).
- C-6 Minimum two-hour rated fire-resistance separations (both vertical and horizontal) are required between the proposed auto repair garage and adjacent tenants. Higher hourly rated fire-resistance separations may be required. The specific fire rating is dependent upon the nature of the adjacent tenant (USBC §313.0).
- C-7 Required exits and accessibility for persons with disabilities must be provided, including but not limited to the code requirements for toilet rooms and accessibility to the building (USBC §512.3.2; ADA-AG).
- C-8 Separators are required for repair garages with grease racks, grease pits, or work racks (USBC §2800.1; P-1002.2). The design of oil separators must comply with USBC §2800.1; P-1002.7.1.2.



Signature

10-5-92

Date

JVP 2631

DEPARTMENT REPORT

2631

SUBDIVISION VACATION ENCROACHMENT SPECIAL USE PERMIT

DATE: 9-29-92

FROM: PLANNING & COMMUNITY DEVELOPMENT - ZONING ADMINISTRATION

- TO:
- TRANSPORTATION & ENVIRONMENTAL SERVICES
 - CODE ENFORCEMENT
 - HEALTH DEPARTMENT *John Brichart*
 - POLICE DEPARTMENT
 - HUMAN SERVICES - SOCIAL SERVICES
 - HISTORIC ALEXANDRIA - ARCHAEOLOGY
 - RECREATION - ARBORIST
 - REAL ESTATE ASSESSMENTS
 - SANITATION AUTHORITY
 - PLANNING DEPARTMENT - B.A.R.

✓

The following request is scheduled for consideration by the Alexandria Planning Commission on NOV. 5

APPLICANT: OUR DEVELOPMENT COMPANY by DUNCAN W. BLAIR, atty. PHONE 703/838-5108

LOCATION: 1 EAST NELSON AV. ZONE R2-5

PROPOSAL: CONSTRUCT A DWELLING ON A SUBSTANDARD LOT

Please return this report with your comments by OCT. 5

DEPARTMENT COMMENT

Preface comments with C - code requirement R - recommendation S - suggestion F - finding

F - This department has no comments.

10-5-92
Date

William J. Skrabak
William J. Skrabak, Manager
Office of Environmental Quality

ENCLOSURES:

- Floor Plans
- Plat
- Letter of Intent
- Form 7-6-182
- Application

[Signature]
Director, Environmental Resources

SIGNATURE

10/5/92
DATE

PLEASE RETURN PLANS NOT NEEDED FOR YOUR FILES

DEPARTMENT REPORT

2631

SUBDIVISION

VACATION

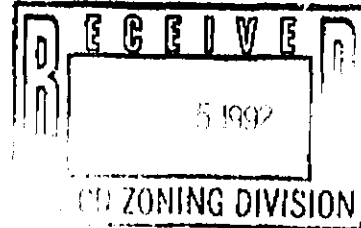
ENCROACHMENT

SPECIAL USE PERMIT

DATE: 9-29-92

FROM: PLANNING & COMMUNITY DEVELOPMENT - ZONING ADMINISTRATION

TO: TRANSPORTATION & ENVIRONMENTAL SERVICES
 CODE ENFORCEMENT
 HEALTH DEPARTMENT
 POLICE DEPARTMENT *Roger Keegan*
 HUMAN SERVICES - SOCIAL SERVICES
 HISTORIC ALEXANDRIA - ARCHAEOLOGY
 RECREATION - ARBORIST
 REAL ESTATE ASSESSMENTS
 SANITATION AUTHORITY
 PLANNING DEPARTMENT - B.A.R.



The following request is scheduled for consideration by the Alexandria Planning Commission on NOV. 5

APPLICANT: OUR DEVELOPMENT COMPANY by DUNCAN W. BLAIR, atty. PHONE 703/838-5108

LOCATION: 1 EAST NELSON AV. ZONE R 2-5

PROPOSAL: CONSTRUCT A DWELLING ON A SUBSTANDARD LOT.

Please return this report with your comments by OCT. 5

DEPARTMENT COMMENT

Preface comments with C - code requirement R - recommendation S - suggestion F - finding

DS Consult with Alexandria Police Department Crime prevention unit regarding locking hardware.

ENCLOSURES:

- Floor Plans
- Plat
- Letter of Intent
- Form 7-6-182
- Application

[Signature]
SIGNATURE

10-2-92
DATE

PLEASE RETURN PLANS NOT NEEDED FOR YOUR FILES

DEPARTMENT REPORT

fr.

2631

SUBDIVISION

VACATION

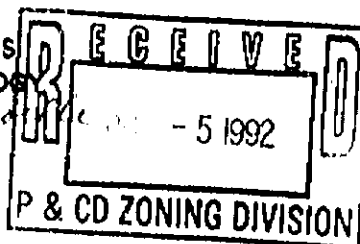
ENCROACHMENT

SPECIAL USE PERMIT

DATE: 9-29-92

FROM: PLANNING & COMMUNITY DEVELOPMENT - ZONING ADMINISTRATION

- TO:
- TRANSPORTATION & ENVIRONMENTAL SERVICES
 - CODE ENFORCEMENT
 - HEALTH DEPARTMENT
 - POLICE DEPARTMENT
 - HUMAN SERVICES - SOCIAL SERVICES
 - HISTORIC ALEXANDRIA - ARCHAEOLOG
 - RECREATION - ARBORIST *John Nelson*
 - REAL ESTATE ASSESSMENTS
 - SANITATION AUTHORITY
 - PLANNING DEPARTMENT - B.A.R.



The following request is scheduled for consideration by the Alexandria Planning Commission on NOV. 5

APPLICANT: OUR DEVELOPMENT COMPANY by DUNCAN W. BLAIR, atty. PHONE 703/838-5108

LOCATION: 1 EAST NELSON AV. ZONE R2-5

PROPOSAL: CONSTRUCT A DWELLING ON A SUBSTANDARD LOT

Please return this report with your comments by OCT. 5

DEPARTMENT COMMENT

Preface comments with

C - code requirement	R - recommendation	S - suggestion	F - finding
----------------------	--------------------	----------------	-------------

- R₁ 90" PIN OAK TREE LOCATED ON LOT 500 MUST BE PRESERVED
- R₂ PROVIDE TREE PROTECTION TO THE SATISFACTION OF THE CITY ARBORIST
- R₃ NO UTILITIES, OR SITE IMPROVEMENTS MAY ^{BE INSTALLED} ~~BE~~ WITHIN THE TREE PROTECTION AREA APPROVED BY THE CITY ARBORIST

- ENCLOSURES:
- Floor Plans
 - Plat
 - Letter of Intent
 - Form 7-6-1992
 - Application

John C. Marshall
SIGNATURE

10/27/92
DATE

PLEASE RETURN PLANS NOT NEEDED FOR YOUR FILES



100-117



APPLICATION: SPECIAL USE PERMIT

SUP # 2631

APPLICANT NAME Our Development Company, a Virginia corporation

ADDRESS 7708 Elba Road, Alexandria, Virginia 22306

PROPERTY LOCATION: 1 East Nelson Avenue, Alexandria, Virginia 22301

TAX MAP REFERENCE: 43.03 03 01 ZONE: R-2-5

PROPERTY OWNER NAME Our Development Company, a Virginia corporation

ADDRESS 7708 Elba Road, Alexandria, Virginia 22306

USE REQUESTED: Special Use Permit to construct a single family residence on a noncomplying lot.

THE UNDERSIGNED hereby applies for a Special Use Permit in accordance with the provisions of Article XI, Section 11-500 of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED, having obtained permission from the property owner, hereby grants permission to the City of Alexandria to post placard notice on the property for which this application is requested, pursuant to Article XI, Section 11-301(B) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia.

THE UNDERSIGNED hereby attests that all of the information herein provided and specifically including all surveys, drawings, etc., required to be furnished by the applicant are true, correct and accurate to the best of their knowledge and belief.

Law Offices of Henry A. Thomas
Duncan W. Blair

Duncan W. Blair

Print Name of Applicant or Agent

Signature

P. O. Box 820, Alexandria, VA 22313

(703) 838-5108

Mailing Address

Telephone Number

September 22, 1992

Mailing Address

Date

DO NOT WRITE BELOW THIS LINE - OFFICE USE ONLY

Application Filing: 9-23-92
date received

\$100.-
fee paid

9-23-92
date paid

Legal Advertisement: _____
date

Property Placard: _____
date

ACTION - PLANNING COMMISSION: 1-5-93 Recommend Approval 7-0

ACTION - CITY COUNCIL: 1/23/93 PH--Approved the recommendation of the Planning Commission and approved the request, subject to compliance with all applicable codes, ordinances and staff recommendations, and added Condition #6. The access will be from Newton Street, not Wayne Street.

CITY OF ALEXANDRIA
 CODE ENFORCEMENT BUREAU
 ALEXANDRIA, VIRGINIA 22304

PERMIT ADDENDUM - INTERDEPARTMENTAL APPROVALS

PERMIT NUMBER: 33027048
 JOB LOCATION: 0001 WILSON

CONSTRUCTION TYPE: 12 - UNIMPROVED
 CONSTRUCTION ACTIVITY: RC - NEW CONSTRUCTION
 DISTRICT: 03 - RESIDENTIAL (LANDSCAPE)
 WORK DESCRIPTION: BUILD NEW SINGLE FAMIL HOME

BEFORE YOU CAN BE ISSUED A PERMIT TO PERFORM ELECTRICAL, MECHANICAL, PLUMBING AND/OR MECHANICAL WORK, YOU MUST OBTAIN THE APPROVAL OF THE DEPARTMENTS CHECKED BELOW. YOU MAY NOT BEGIN CONSTRUCTION UNTIL ALL APPROVALS ARE OBTAINED. WHEN ALL REQUIRED APPROVALS HAVE BEEN OBTAINED, RETURN THIS FORM TO THE CODE ENFORCEMENT BUREAU, ROOM 400, CITY HALL.

- R-25
1. PLUMBING AND MECHANICAL DEVELOPMENT, 101 W. WASHINGTON ST. ALEXANDRIA, VA 22304
 APPROVED DISAPPROVED NOT APPLICABLE
 REASON FOR DISAPPROVAL: *Approved to construct water tank room on plot location*
 DATE: 5/16/93 SIGNATURE: *[Signature]*
 STATE BOARD OF APPELLATE ENGINEERING: *[Signature]* APPROVED DISAPPROVED NOT APPLICABLE
 2. TRANSPORTATION AND ENVIRONMENTAL SERVICES, 1000 W. WASHINGTON ST. ALEXANDRIA, VA 22304
 APPROVED DISAPPROVED NOT APPLICABLE
 REASON FOR DISAPPROVAL:
 DATE: 5/16/93 SIGNATURE: *[Signature]*
 3. HEALTH DEPARTMENT, 517 H. ST. ALEXANDRIA, VA 22304
 APPROVED DISAPPROVED NOT APPLICABLE
 REASON FOR DISAPPROVAL:
 DATE: SIGNATURE:
 4. AERIAL PHOTOGRAPHY, 1111 WASHINGTON ST. ALEXANDRIA, VA 22304
 APPROVED DISAPPROVED NOT APPLICABLE
 REASON FOR DISAPPROVAL:
 DATE: SIGNATURE:
 5. AERIAL PHOTOGRAPHY, 1111 WASHINGTON ST. ALEXANDRIA, VA 22304
 APPROVED DISAPPROVED NOT APPLICABLE
 REASON FOR DISAPPROVAL:
 DATE: SIGNATURE:
 6. CODE ENFORCEMENT BUREAU, 1000 W. WASHINGTON ST. ALEXANDRIA, VA 22304
 APPROVED DISAPPROVED NOT APPLICABLE
 REASON FOR DISAPPROVAL:
 DATE: SIGNATURE:

CITY OF ALEXANDRIA

FROM: Charlie / Peter

DATE: 5-5-93

TO:

1. John Lane 4. _____
2. _____ 5. _____
3. _____ 6. _____

Answer or acknowledge by _____

Prepare reply for signature of _____

- FOR:
- | | |
|---|--|
| <input type="checkbox"/> ACTION | <input type="checkbox"/> PER CONVERSATION |
| <input type="checkbox"/> APPROVAL | <input type="checkbox"/> RECOMMENDATIONS |
| <input type="checkbox"/> AS REQUESTED | <input type="checkbox"/> SEE ME |
| <input type="checkbox"/> CORRECTION | <input checked="" type="checkbox"/> SIGNATURE |
| <input type="checkbox"/> FULL REPORT | <input checked="" type="checkbox"/> YOUR COMMENT |
| <input type="checkbox"/> HANDLE | <input type="checkbox"/> YOUR INFORMATION |
| <input type="checkbox"/> NOTE AND RETURN | <input type="checkbox"/> APPROVED |
| <input checked="" type="checkbox"/> HANDLE, COPY TO THIS OFFICE | <input type="checkbox"/> DISAPPROVED |

REMARKS:

Please find attached building plans submitted for development of 1 East Melin Avenue substandard lot. Plan review has disclosed a number of deviations from City Council's approved plan vs the building plans. The variations have been noted in yellow and an accompanying list identifies the variations from the two plans. A copy of the SWP conditions are attached.

REPLY: Please sign the attached plans if the minor variations are acceptable. Staff recommends the plans be approved and released to T. ES.

Minor variations identified on 1 East Nelson Avenue plan / bldg plans

	Approved SUP Plan	Bldg Plan
foundation	30' length	30' length.
roof dormer	11'-6" length 7' ht	15' length 6'9" ± ht
roof dormer vent	centered	peak of dormer
detailed garage	18' ht	17' ft
chimney cap	not identified	placed on plan.
Arbor/Trellis	three columns trellis header continuous	2 columns header gapped between garage/house header shown.
entrance entrance	entry header not shown flower box	no flower box
bldg ht	30'-7" ht	31' ht ±
fence	shown (east property yard)	not shown (east property yard)
Nelson Ave frontage of bldg	no window east side of bldg	window shown
basement	no small windows shown	three (3) additional small windows
stair	two views	3 views
stair light	not shown	shown
Attic	no window facing Nelson Avenue	no window facing Nelson Avenue.

Recommendation: Bldg permit plans reflect the spirit/intent
of SUP 2631 plan submitted to City Council.
Recommends approval of bldg permit.

City of Alexandria, Virginia

MEMORANDUM

6
1-23-93

DATE: JANUARY 22, 1993

TO: THE HONORABLE MAYOR AND MEMBERS OF CITY COUNCIL

THRU: VOLA LAWSON, CITY MANAGER *Vola Lawson*

FROM: SHELDON LYNN, DIRECTOR *Sheldon Lynn*
PLANNING AND COMMUNITY DEVELOPMENT

SUBJECT: SUP # 2631: SUBSTANDARD LOT, 1 EAST NELSON AVENUE

Staff has discovered an error in a Planning Commission motion in Special Use Permit #2631, Item 6 on your docket for Saturday, January 23, 1993.

The Planning Commission added a new condition #6 which stated that access to the applicant's off-street parking space should be from Wayne Street. Access is not possible from Wayne Street. Staff believes, and Mr. Hurd confirmed, that the motion should have stated that access should be from the alley which is named Newton Street.

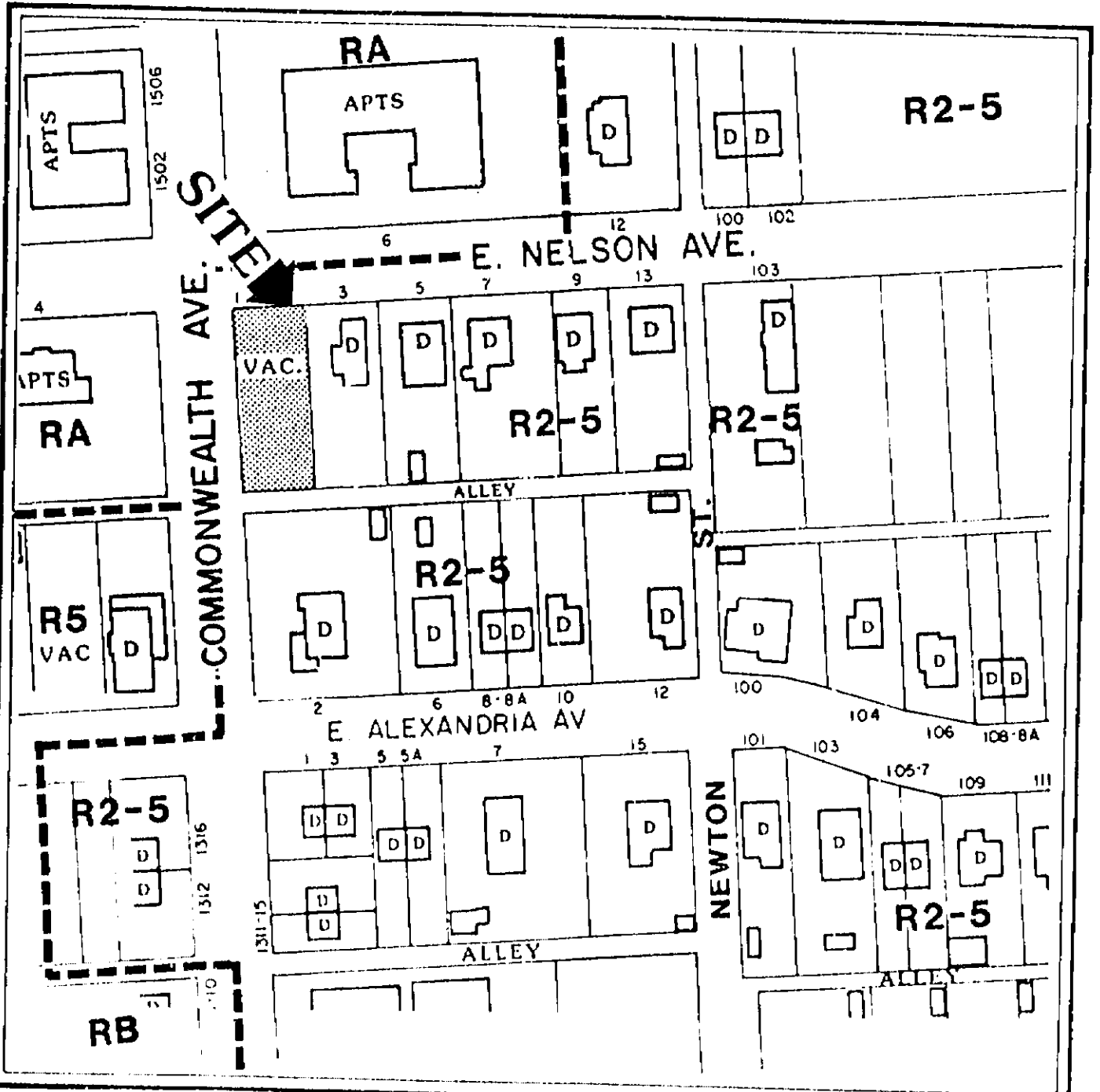
Condition #6 of SUP #2631 should be amended to read as follows:

Access through the alley shall be from ~~Wayne Street~~ Newton Street and the applicant shall not install a curb-cut from Commonwealth Avenue to the Alley.

Because SUP #2631 (Docket Item #6) is listed on Council's Consent Docket, Council needs to remove the item from the consent docket and make the change shown above.

ATTACHMENT: Map showing the area around SUP #2631.

The subject property and surrounding land uses are shown on the sketch below:



SUP # 2631

1/5/93





SUP-1713
BZA-5112

CITY OF ALEXANDRIA
DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

SUP

RECEIPT

Applicant's Name Our Development Company Telephone Number _____
Mailing Address 7708 Elba Road, Alexandria, Virginia 22306
Property Location 1 East Nelson Avenue, Alexandria, Virginia 22301

Account	Description	Amount Due	Amount Paid
105108-9133	<u>Applications / Lists</u>		
	<input checked="" type="checkbox"/> Special Use Permits *	<u>100.00</u>	
	<input type="checkbox"/> TME SUP *		
	<input type="checkbox"/> Transitional SUP *		
	<input type="checkbox"/> Cluster Cc SUP		
	<input type="checkbox"/> Encroachments *		
	<input type="checkbox"/> Subdivisions		
	<input type="checkbox"/> Board of Zoning Appeals *		
	<input type="checkbox"/> Board of Architectural Review *		
	<input type="checkbox"/> Docket Mailing Lists		
	<input type="checkbox"/> Advance Docket Mailing List		
105108-9135	<u>Applications</u>		
	<input type="checkbox"/> Variances		
	<input type="checkbox"/> Encroachments		
105108-9056	<u>Fines</u>		
106108-9131	<u>Sales</u>		
	<input type="checkbox"/> Tax Maps *		
	<input type="checkbox"/> Copying Charges *		
	<input type="checkbox"/> Documents *		
010009-208-02	Sales Tax *		
		TOTAL <u>100.00</u>	

* Requires Computation by Department of Planning

For Use By Treasury Division Only

Date Received _____ Cashier Initials _____
 Cash Check Number _____ Date _____
Payer _____

SAP 2631

POST THIS PORTION IN PUBLIC VIEW.

LICENSE NO092-01001 (efp)

**1992
BUSINESS LICENSE**

THIS LICENSE EXPIRES
DECEMBER 31, 1992 AND
MUST BE RENEWED BY
JANUARY 31, 1993 TO AVOID
PENALTIES AND INTEREST.

DEPARTMENT OF FINANCE
BUSINESS TAX BRANCH
CITY HALL — ROOM 1500
ALEXANDRIA, VA 22313
(703) 838-4680

TRADE NAME HENRY A THOMAS/LAW OFFICES
BUSINESS ADDRESS 510 KING STREET STE 200
BUSINESS DESCRIPTION ATTORNEY'S AT LAW

LICENSEE AND MAILING ADDRESS

THOMAS HENRY A & BLAIR D
P O BOX 820
ALEXANDRIA, VIRGINIA 22313

NOT VALID WITHOUT CURRENT YEAR LICENSE NUMBER.

City of Alexandria, Virginia

MEMORANDUM

DATE: DECEMBER 8, 1992
FROM: NAN LAURENCE *NL*
URBAN DESIGNER
TO: SHELDON LYNN
DIRECTOR
SUBJECT: 1 EAST NELSON AVENUE

Peter Leiberg has asked me to comment on the application for a house on a substandard lot located at 1 East Nelson Avenue. I have no problems with the size of the lot or most of the elevations, but I do have some concerns about the elevation facing Commonwealth Avenue from an urban design standpoint, as follows.

1. The front door of a house generally acts as a primary element of scale and signifies its use as a residential structure. In this design, however, the front door appears to be just the same as two windows which happen to be larger than others on the facade. This would be in sharp contrast to front porches or at least a higher degree of ornamentation on front doors for residential structures along Commonwealth Avenue. It is already awkward to have the entry to the house along the long side of the structure, and the lack of design elements makes this situation worse.
2. The elevation presents a confusing indication of the number of stories due to the coursing levels and the proportion of the horizontal brick (?) section between them--only the balcony to the south gives any indication of the floor level. Typically, the number of stories of a residential structure, in addition to the type, number and proportion of openings, is a main element of scale for a residential structure. As a result, the house appears to be out of scale, awkward and overly long.
3. The size and arrangement of windows does not give any indication of activity or hierarchy of spaces inside, which is usually a main difference between houses and multifamily structures. Consequently, the structure does not look like a single family house, and again appears out of scale.
4. Given the length of the front elevation, the roof appears to be too massive for a single family residence. The addition of dormers would improve this portion of the design.



INTER OFFICE MEMO

DATE:

TO:

FROM:

SUBJECT:

BLOCK FACE

10 LOTS

50% (5 lots)

SUBJECT LOT CONTAINS LOT
~~AND~~ THE LOT AREA & LOT WIDTH
AS EXHIBITED BY 1 OF
THE DEVELOPED LOTS

11/23/92

FOMB-5010

SEE SC
ABOUT DETER-
MINING A BLOCK
FACE —

LAW OFFICES OF HENRY A. THOMAS

510 KING STREET

P.O. BOX 820

ALEXANDRIA, VIRGINIA 22313

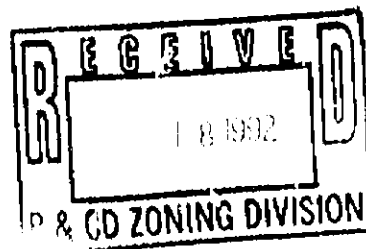
(703) 838-5106

December 18, 1992

HENRY A. THOMAS

DUNCAN W. BLAIR

Mr. Sheldon Lynn
Director
Planning & Community Development
City of Alexandria
301 King Street
Alexandria, Virginia 22314



DELIVERED BY HAND

In re: CERTIFICATE OF NOTICE
OUR DEVELOPMENT COMPANY

Dear Mr. Lynn:

The undersigned hereby certifies that the property owner notice, a copy of which is enclosed, as required pursuant to Article XI, Section 301(A) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia, was sent to the attached list of property owners on December 18, 1992 on the application of Our Development Company on the following issue:

DATE, TIME AND PLACE OF
PUBLIC HEARINGS:

PLANNING COMMISSION
Tuesday, January 5, 1993
7:30 p.m., City Council Chambers
City Hall
301 King Street
Alexandria, Virginia

CITY COUNCIL
Saturday, January 23, 1993
9:30 a.m. City Council Chambers
City Hall
301 King Street
Alexandria, Virginia

DESCRIPTION OF REQUEST:

Special Use Permit (SUP #2631)
to construct a single family
dwelling on a substandard lot
and modification of the front
setback requirements of the
R-2-5 zone regulations.

PROPERTY ADDRESS:

#1 East Nelson Avenue
Alexandria, Virginia

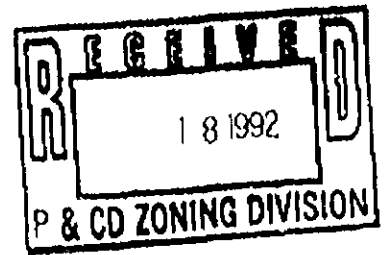
TAX MAP REFERENCE:

43.03 03 01

Very truly yours,

Duncan W. Blair

DWB:kl\Heapes4.Not
Enclosure
cc: Mr. Richard E. Heapes



December 18, 1992

NOTICE OF PUBLIC HEARINGS

You are hereby notified of the following public hearings to be held by the Alexandria Planning Commission and City Council on the application of Our Development Company, a Virginia corporation.

**DATE, TIME AND PLACE OF
PUBLIC HEARINGS:**

PLANNING COMMISSION
Tuesday, January 5, 1993
7:30 p.m., City Council Chambers
City Hall
301 King Street
Alexandria, Virginia

CITY COUNCIL
Saturday, January 23, 1993
9:30 a.m., City Council
Chambers
City Hall
301 King Street
Alexandria, Virginia

DESCRIPTION OF REQUEST:

Special Use Permit (SUP #2631)
to construct a single family
dwelling on a substandard lot
and modification of the front
setback requirements of the
R-2-5 zone regulations.

PROPERTY ADDRESS:

#1 East Nelson Avenue
Alexandria, Virginia

TAX MAP REFERENCE:

43.03 03 01

As a citizen and party in interest, you are invited to attend this meeting and express your views concerning the above request.

If you have any questions regarding this request, please feel free to call the undersigned at (703) 838-5108.

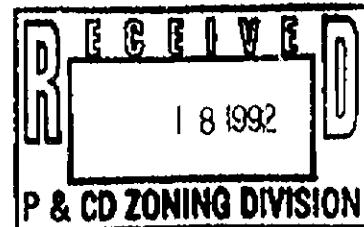
Duncan W. Blair
Attorney for Applicant

RE\Heapes4.Not

PROPERTY OWNERS LIST

Joan Lebosque Rhodes, Tr. c/o Rhodes & Rhodes 719 S. St. Asaph Street, #107 Alexandria, VA 22314	43.01 09 11
John R. Swindler c/o William C. Smith & Co., Inc. 1220 L Street, N.W. Suite 300 Washington, D. C. 20005	43.03 02 19 43.03 04 1
Robert P. Romero 90 Commonwealth Avenue Alexandria, VA 22301	43.03 03 1-01
Marlene J. Crossland 2 East Alexandria Avenue Alexandria, VA 22301	43.03 03 12
George E. or Patricia M. Day 2202 Traies Court Alexandria, VA 22306	43.03 04 6

RE\Heapes4.Not



LAW OFFICES OF HENRY A. THOMAS

810 KING STREET

P.O. BOX 820

ALEXANDRIA, VIRGINIA 22313

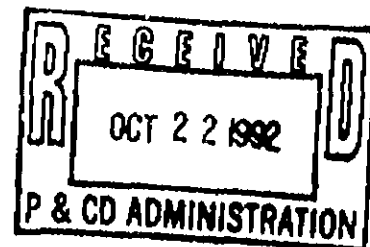
(703) 808-5100

October 21, 1992

HENRY A. THOMAS

DUNCAN W. BLAIR

Mr. Sheldon Lynn
Director
Planning & Community Development
City of Alexandria
301 King Street
Alexandria, Virginia 22314



DELIVERED BY HAND

In re: CERTIFICATE OF NOTICE
OUR DEVELOPMENT COMPANY

Dear Mr. Lynn:

The undersigned hereby certifies that the property owner notice, a copy of which is enclosed, as required pursuant to Article XI, Section 301(A) of the 1992 Zoning Ordinance of the City of Alexandria, Virginia, was sent to the attached list of property owners on October 21, 1992 on the application of Our Development Company on the following issue:

DATE, TIME AND PLACE OF
PUBLIC HEARINGS:

PLANNING COMMISSION
Thursday, November 5, 1992
7:30 p.m., City Council Chambers
City Hall
301 King Street
Alexandria, Virginia

CITY COUNCIL
Saturday, November 14, 1992
9:30 a.m. City Council Chambers
City Hall
301 King Street
Alexandria, Virginia

DESCRIPTION OF REQUEST:

Special Use Permit to construct a single family dwelling on a substandard lot and modification of the front setback requirements of the R-2-5 zone regulations.

PROPERTY ADDRESS:

#1 East Nelson Avenue
Alexandria, Virginia

TAX MAP REFERENCE:

43.03 03 01

Very truly yours,

A handwritten signature in dark ink, appearing to read "Duncan W. Blair".

Duncan W. Blair

DWB:kl\Heapes3.Not
Enclosure

cc: Mr. Richard E. Heapes

October 21, 1992

NOTICE OF PUBLIC HEARINGS

You are hereby notified of the following public hearings to be held by the Alexandria Planning Commission and City Council on the application of Our Development Company, a Virginia corporation.

**DATE, TIME AND PLACE OF
PUBLIC HEARINGS:**

PLANNING COMMISSION
Thursday, November 5, 1992
7:30 p.m., City Council Chambers
City Hall
301 King Street
Alexandria, Virginia

CITY COUNCIL
Saturday, November 14, 1992
9:30 a.m., City Council
Chambers
City Hall
301 King Street
Alexandria, Virginia

DESCRIPTION OF REQUEST:

Special Use Permit to construct a single family dwelling on a substandard lot and modification of the front setback requirements of the R-2-5 zone regulations.

PROPERTY ADDRESS:

#1 East Nelson Avenue
Alexandria, Virginia

TAX MAP REFERENCE:

43.03 03 01

As a citizen and party in interest, you are invited to attend this meeting and express your views concerning the above request.

If you have any questions regarding this request, please feel free to call the undersigned at (703) 838-5108.

Duncan W. Blair
Attorney for Applicant

RE\Heapes3.Not

PROPERTY OWNERS LIST

Joan Lebosque Rhodes, Tr. c/o Rhodes & Rhodes 719 S. St. Asaph Street, #107 Alexandria, VA 22314	43.01	09	11
John R. Swindler c/o William C. Smith & Co., Inc. 1220 L Street, N.W. Suite 300 Washington, D. C. 20005	43.03 43.03	02 04	19 1
Robert P. Romero 90 Commonwealth Avenue Alexandria, VA 22301	43.03	03	1-01
Marlene J. Crossland 2 East Alexandria Avenue Alexandria, VA 22301	43.03	03	12
George E. or Patricia M. Day 2203 Traies Court Alexandria, VA 22306	43.03	04	6

RE\Heapes3.Not

LAW OFFICES OF HENRY A. THOMAS

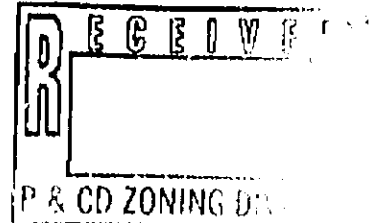
510 KING STREET
P.O. BOX 820
ALEXANDRIA, VIRGINIA 22313
(703) 808-5106

HENRY A. THOMAS

DUNCAN W. BLAIR

November 3, 1992

Mr. T. Edward Braswell
Chairman
Alexandria Planning Commission
City Hall
301 King St.
Alexandria, Va. 22314



DELIVERED BY HAND

In re: Alexandria Planning Commission regular public hearing
Thursday, November 5, 1992 - Docket Item #5B - Special
Use Permit #2631.

Dear Mr. Braswell:

I am writing on behalf of our client, Our Development Company, Inc., the applicant requesting special use permit to construct a single family dwelling on the property known as 1 East Nelson Avenue, to request that consideration of this item be deferred from the November 5th, 1992 Planning Commission public hearing until the December 1, 1992 public hearing.

The applicant is requesting the deferral in order to have additional time to address certain design and development issues relating to the property.

Thanking you for your consideration of this request.

Very truly yours,

A handwritten signature in black ink, appearing to read "Duncan W. Blair". The signature is written in a cursive, somewhat stylized script.

Duncan W. Blair

DWB:bf Braswell.113
cc: Mr. Richard Heapes



APPLICATION: SPECIAL USE PERMIT No. 1713

The undersigned hereby applies for a Special Use Permit, in accordance with the provisions of Article J, Chapter 6, Title 7 of the Code of the City of Alexandria, Virginia, 1981 as amended.

Applicant Cecil J. Sills & James R. Sills

Premises Located #1 E. Nelson Ave.

Assessment Map 43.03 Block 03 Lot 1

Property Owner Cecil J. Sills & James R. Sills 960-4416
3790 Pine Brook Road, Alexandria, Virginia 22310

Use Requested Residential Zone R-2-5

The undersigned, having obtained permission from the owner, hereby grants permission to the City of Alexandria, to post placard notice as required by Sec. 7-6-302 of the Alexandria City Code, 1981 as amended, on the property for which this special use permit is being requested. The undersigned also attests that all of the information herein provided and specifically including all surveys, drawings, etc. required to be furnished by the applicant are true, correct and accurate to the best of his [their] knowledge and belief.

Alexandria Surveys, Inc. 751-7767
SIGNATURE OF APPLICANT OR AUTHORIZED AGENT TELEPHONE NUMBER

3105 Colvin Street, Alexandria, Virginia 22314
ADDRESS

[DO NOT WRITE BELOW THIS LINE ... OFFICE USE ONLY]

S.U.P. Application Received 10/9/84 50- 50-6/11/84
DATE FEE DATE PAID

Section and Provision of Chapter 6 Title 7 of the Alexandria City Code, 1981 as amended under which this special use permit is being requested _____

Date(s) of Planning Commission Hearing(s) _____

Date(s) of City Council Hearing(s) _____

Special Use Permit Advertised in Newspaper _____

Subject Property Placarded _____

ACTIONS:

Planning Commission 11/8/84 Recommend approval 7-0

City Council PH 11/17/84 Granted, subject to compliance with all applicable
Codes, ordinances and staff recommendations

DOCKET ITEM # 12
SPECIAL USE PERMIT #1713

PLANNING COMMISSION MEETING
THURSDAY, NOVEMBER 8, 1984
7:30 P.M., COUNCIL CHAMBERS

ISSUE: Request permit to construct a single-family dwelling on a lot that is substandard in frontage at the front building line located at the southeast corner of Commonwealth and Nelson Avenue, known as 1 East Nelson Avenue; zoned R-2-5, Residential. APPLICANT: CECIL J. and JAMES R. SILLS by ALEXANDRIA SURVEYS.

STAFF RECOMMENDATION:

Recommend approval subject to applicable codes and ordinances.

PLANNING COMMISSION MEETING OF NOVEMBER 8, 1984:

Mr. Sills represented the application.

Mr. Jim Dunning, President, Del Ray Civic Association, spoke opposing the request.

COMMISSION ACTION:

On a motion by Mr. Kamerow, seconded by Mr. Hoben, the Planning Commission voted to recommend approval of the request, subject to compliance with all applicable codes, ordinances and staff recommendations.

The motion carried on a vote of 7 to 0.

REASON:

The Planning Commission agreed with the staff analysis.

CITY COUNCIL MEETING OF NOVEMBER 17, 1984:

Granted, subject to compliance with all applicable codes, ordinances and staff recommendations.

DISCUSSION:

The subject property is one (1) lot of record having fifty (50) feet of frontage on East Nelson Avenue, 130 feet of frontage on Commonwealth Avenue and a lot area of 6,500 square feet. The property is vacant.

The property to the north across East Nelson Avenue and to the west across Commonwealth Avenue is zoned RA, residential and developed by apartments.

The property to the south and east is zoned R-2-5, residential and is developed by single and two family dwellings.

The applicant proposes to construct a single family detached dwelling on the subject property.

Section 7-6-44(a) of the City Code states:

(a) Use of substandard lots. Any lot in the R-20, R-12, R-8, R-5, R-2-5 or RA residence zones, which lot was of record on December 28, 1951, but which has less area of width than the minimum required for use in the zone where it is situated, may be occupied only by a single-family dwelling and its accessory buildings, provided that:

(1) As of May 14, 1974, and continuously thereafter, the said lot is not owned by any person having any interest whatsoever in any contiguous land;

(2) A special use permit is granted under the provisions of sections 7-6-191 to 7-6-195 of this code; and

(3) City council, upon consideration of the special use permit, finds that the proposed use shall not unreasonably impair an adequate supply of light and air to adjacent property, and shall not diminish or impair the established property values in surrounding areas.

The subject property is substandard in frontage at the front building line since 65 feet is required and 50 feet is provided.

As shown on the attached plat submitted by the applicant the proposed dwelling will be 24 feet by 40 feet. The proposed dwelling will be two (2) stories in height.

The applicant is scheduled to be heard by the Board of Zoning Appeals on November 8, 1984 for a setback variance from Commonwealth Avenue. (25 feet required, 19 feet provided)

The applicant is advised that in accordance with Section 7-6-194 of the City Zoning Code, construction or operation shall be commenced within one (1) year of the date of the granting of a special use permit by City Council or the use permit shall become void.

LAND USE AND MAJOR THOROUGHFARE PLAN:

Low density residential land use is indicated for the subject property on the Proposed Land Use Plan Map of the Consolidated Master Plan. East Nelson Avenue is indicated as a local residential street on the Major Thoroughfare Plan Map.

ZONING HISTORY:

The current Fifth Revised Zoning Map of 1963 indicates the subject as R-2-5, Residential, which has remained since adoption of the Third Revised Zoning Map of 1951.

DEPARTMENTAL COMMENTS:

Transportation & Environmental Services:

Will be forwarded when received.

Building & Mechanical Inspections:

No objections.

Fire:

No comment.

Electric:

All wiring must comply with the 1981 National Electric Code and Title 8 of the City Code.

Plumbing:

Minimum facilities and handicap facilities must comply with ANSI A-117.1-1980 and the Virginia Uniform Statewide Building Code/81.

All plumbing fixtures and faucets must be of water saving design.

All hose connections and water supplied equipment must have approved backflow preventers installed.

All mechanical equipment must be energy efficient.

Health:

No involvement.

Police:

If this permit is approved, recommend owner contact our Crime Prevention Section of 838-4520 for recommendations on security.

Engineering:

No objections.

STAFF ANALYSIS:

Staff is of the opinion that this request is very reasonable since the subject lot size is typical of the majority of single family lots in the Del Ray area. Staff feels that the proposed use will not unreasonably impair an adequate supply of light and air to adjacent property and will not diminish or impair the established property values in the area.

BOARD OF ZONING APPEALS CASE: #5112

APPLICANT: Cecil J. Sillis, James K. Sillis

LOCATION: #1 East Nelson Avenue

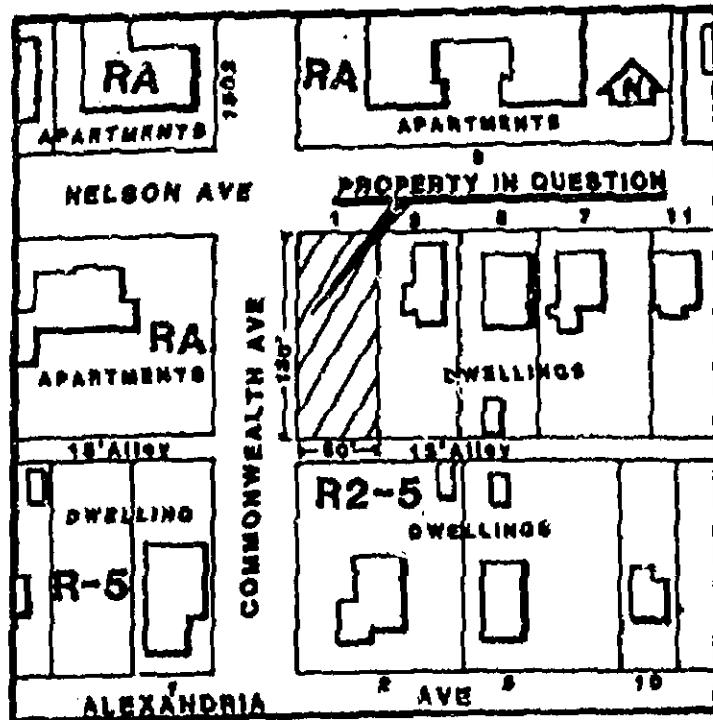
PRESENT ZONING: R-2-5, Residence

DATE OF MEETING: November 8, 1984

APPLICATION SUBMITTED		ADVERTISED	POSTED	
10-9-84		10-26-84	10-29-84	
Code Section	Subject	Code Req't	App'l Pro	Req't Appeal
7-6-16(d)	Yard Req.	25 feet	19 feet	6 feet

STAFF REPORT

Site in question and surrounding land uses and zones are shown on sketch:



DISCUSSION:

The property in question consists of one recorded lot of record having fifty feet (50') of frontage on E. Nelson Avenue, 130 feet of frontage on Commonwealth Avenue and containing 6500 square feet.

The property is presently vacant.

The area surrounding the subject property is zoned R-2-S residential and contains single and two family dwellings.

LAND USE & MAJOR THOROUGHFARE PLAN:

The Adopted Land Use Plan Map shows density residential use for the subject property.

The Adopted Major Thoroughfare Plan shows E. Nelson Avenue as a local street and Commonwealth Avenue as a primary collector street.

ZONING:

The subject property is zoned R-2-5 residential and has been zoned R-2-5 since 1951.

APPLICANT'S PROPOSAL:

The applicant proposes to construct a two story single family dwelling on the subject property. The dwelling measures 24 feet by 40 feet and is located 32 feet from E. Nelson Avenue and 19 feet from Commonwealth Avenue.

REQUESTED VARIANCE:

Sect. 7-6-16(d) Yard Regulations: The R-2-5 zone requires a minimum front setback of 25 feet. The proposed single family dwelling is to be located 19 feet from Commonwealth Avenue and the applicant is requesting a variance of six feet.

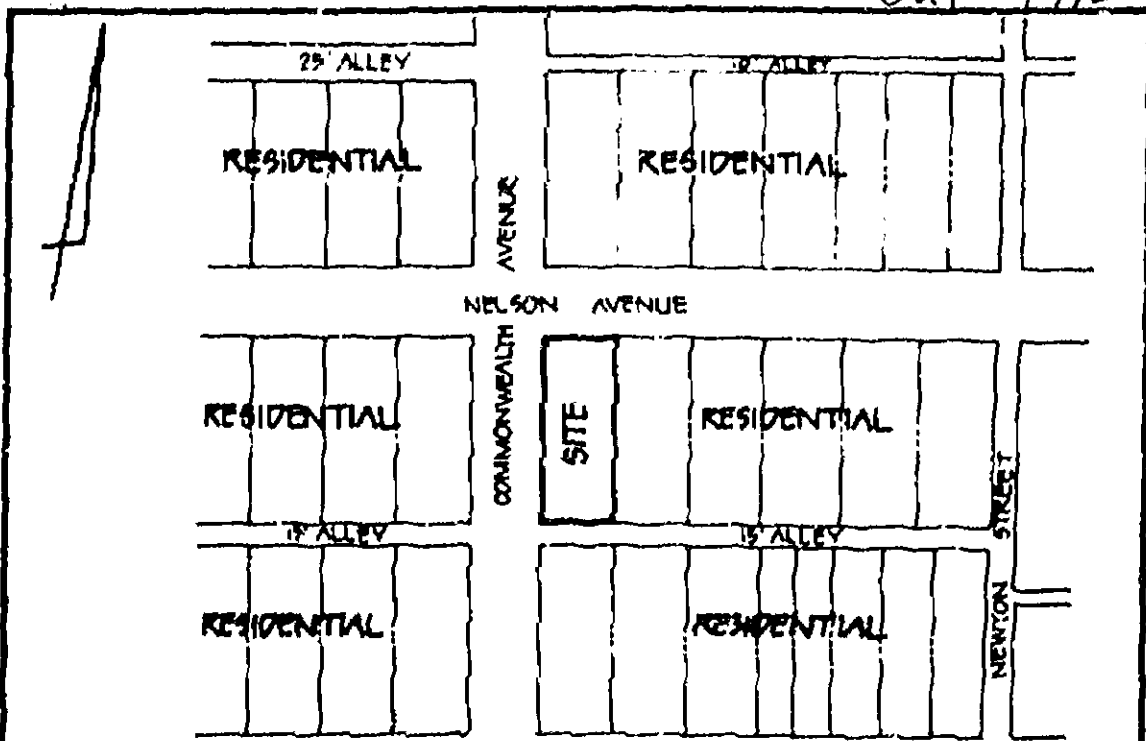
NOTE: For the Board's information, there is one existing dwelling located on this side of Commonwealth Avenue, between E. Nelson Avenue and E. Alexandria Avenue. This dwelling is located approximately 25 feet from Commonwealth Avenue.

DEPARTMENTAL COMMENTS:Transportation & Environmental Services:

Recommend approval. Commonwealth really should be considered as a side street.

Code Enforcement: Building & Mechanical Inspections: No objections.

SUP 1713



FLAT

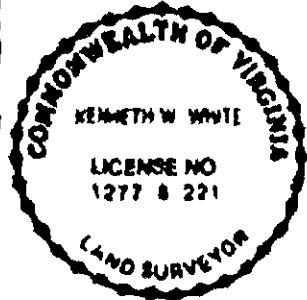
SHOWING LAND USES AROUND
LOT 20 BLK 0

NORTHWEST ALEXANDRIA IMPROVEMENT COMPANY CITY OF ALEXANDRIA, VIRGINIA

SCALE 1" = 125' OCT 3, 1984

TAX MAP : 43 03 03 1
ZONE : R 7.5

CASE NAME
CECIL J SILL'S



Kenneth W. White
 KENNETH W. WHITEL.S.

ALEXANDRIA SURVEYS, INC.
 3105 COLUMB STREET
 ALEXANDRIA, VIRGINIA 22304

6

DOCKET ITEM #5

BZA CASE #6286

BOARD OF ZONING APPEALS
THURSDAY, OCTOBER 8, 1992

ADDRESS: 1 EAST NELSON AVENUE
ZONE: R-2-5, RESIDENTIAL
APPLICANT: OUR DEVELOPMENT COMPANY, A VIRGINIA CORPORATION,
OWNER, BY DUNCAN W. BLAIR, ATTORNEY

CODE SECTION	SUBJECT	CODE REQMT	APPLICANT PROPOSES	REQUESTED APPEAL
3-506(A) (1)	Front Yard (East Nelson Ave)	25.00 ft	19.00 ft	6.00 ft
3-506(A) (1)	Front Yard (Commonwealth Ave)	25.00 ft	19.00 ft	6.00 ft
7-801	Vision Clearance (See staff report.)			

(A) APPLICANT'S PROPOSAL:

1. The applicant proposes to construct a new semi-detached dwelling at 1 East Nelson Avenue (southeast corner of East Nelson Avenue and Commonwealth Avenue).
2. The proposed dwellings each will measure 40.00 feet long by 15.00 feet wide. According to the applicant's conceptual architectural design plans, the buildings will be three stories in height.
3. The main entrances to the semi-detached dwellings will be from the ends of the buildings. Lot 501 will have a main entrance facing the 15.00 feet wide alley. Lot 500 will have a main entrance facing East Nelson Avenue.
4. Both of the proposed semi-detached dwellings can meet the zoning restrictions of the R-2-5 zone, with the exception of the front setback requirement facing Commonwealth Avenue and East Nelson Avenue.

5. The applicant is advised that the maximum permitted building height in the R-2-5 zone is 35.00 feet. The height of a building is measured from average finished grade to highest point of the building (Zoning Ordinance, Section 2-154).

(B) DISCUSSION:

1. The subject property is one lot of record having 130.00 feet of frontage on Commonwealth Avenue, and 50.00 feet of frontage on East Nelson Avenue. The property contains 6,500 square feet.
2. On September 17, 1992, the Planning Commission Subdivision Committee denied a request to subdivide the subject property into two lots in order to construct a semi-detached dwelling. The applicant appealed the Committee's denial to the Planning Commission. The Commission is scheduled to hear the appeal on October 8, 1992. (Copy of subdivision staff report attached.)

(C) ZONING AND LAND USE:

The subject property is zoned R-2-5 and has been so zoned since adoption of the Third Zoning Map in 1951.

The Potomac West Small Area Plan, adopted by City Council as an amendment to the Master Plan on May 20, 1989, identifies the subject property for Medium-Residential land use and to be zoned R-2-5, Residential.

(D) REQUESTED VARIANCES:

Section 3-506(A)(1). Front Yard:

The R-2-5 zone requires a minimum front street setback of 25.00 feet. The proposed semi-detached dwelling is to be located 19.00 feet from the front property line on Commonwealth Avenue and 19.00 feet from the front property line on East Nelson Avenue, and the applicant is requesting variances of 6.00 feet respectively.

Section 7-801. Vision Clearance:

As shown on the applicant's plans, the porch on the dwelling to be constructed on Lot 500 will extend approximately 4.00 feet into the required vision clearance setback area at the intersection of Commonwealth Avenue and East Nelson Avenue. The applicant is requesting a variance of 4.00 feet to permit the porch to extend into the vision clearance setback area.

(E) DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
STAFF ANALYSIS:Section 11-1103:

1. The particular physical surroundings, shape, topographical condition or other extraordinary situation or condition of the specific property involved would effectively prohibit or unreasonably restrict the utilization of the property or would constitute a clearly demonstrable hardship approaching confiscation, as distinguished by a mere inconvenience, if the strict letter of the regulations were carried out.

The property is long and rectangular in shape, which means that the setback requirement limits the width of the proposed semi-detached dwelling.

The topography of the subject lot is flat as are all of the other lots in the area. Because of the narrowness of the lot, a variance from the front setback requirement on Commonwealth Avenue would be necessary to build any dwelling on this lot.

2. The conditions upon which the petition for a variance is based are not applicable generally to other property within the same zoning classification.

The zoning restrictions imposed on the subject property are applicable to other properties in the same zoning classification.

The topography and shape of the other lots are the same as the subject lot, but the imposition of two front street setbacks restrict development of the subject lot.

3. The property was acquired in good faith and any hardship produced by the ordinance was not created by the owner of such property.

This statement appears to be accurate.

The applicant seems to be creating his own hardship by attempting to subdivide the property into two lots. If the applicant built only one house, there would be no need for a variance from East Nelson Avenue.

4. The granting of the variance will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located, or diminish or impair the values thereof.

The variances, if granted, will permit the applicant to construct a semi-detached dwelling closer to the front property lines than permitted. The proposed new semi-detached dwelling will, to some degree, be injurious to other properties in the general neighborhood by introducing a semi-detached dwelling in an area that is predominantly single-family detached dwellings. But, as pointed out, any type of dwelling constructed on the subject lot would need a front street setback variance from Commonwealth Avenue.

5. The proposed variance will not impair an adequate supply of light and air to adjacent property, or cause or substantially increase congestion in the public streets, or increase the danger of fire or the spread of fire, or endanger the public safety.

The proposed variances will not cause any of these problems.

6. The variances, if granted, will not alter the essential character of the area or be a substantial detriment to adjacent property.

The proposed variances will alter the character of the neighborhood and result in the subject property being developed with a semi-detached two-family dwelling that is incompatible with the single family detached residential character of the area.

7. The strict application of this ordinance would produce undue hardship.

Strict application of the ordinance will not produce undue hardship.

8. Such undue hardship is not shared generally by other properties in the same zone and vicinity.

There is no hardship.

9. No other remedy exists whereby the same relief was, is or may be available from another approval body of the City as part of its review of a site plan or other development application.

No other remedy exists except the BZA.

CONCLUSION: PROPERTY DOES NOT MEET THE CRITERIA FOR A VARIANCE.

(F) DEPARTMENTAL COMMENTS:

Transportation and Environmental Services:

R-1: Provide 4.00 feet concrete sidewalk along Commonwealth Avenue.

Code Enforcement:

No comment.

Health Department:

F-1: No comment.

Recreation (Arborist):

F-1: No specimen trees are affected by this variance.

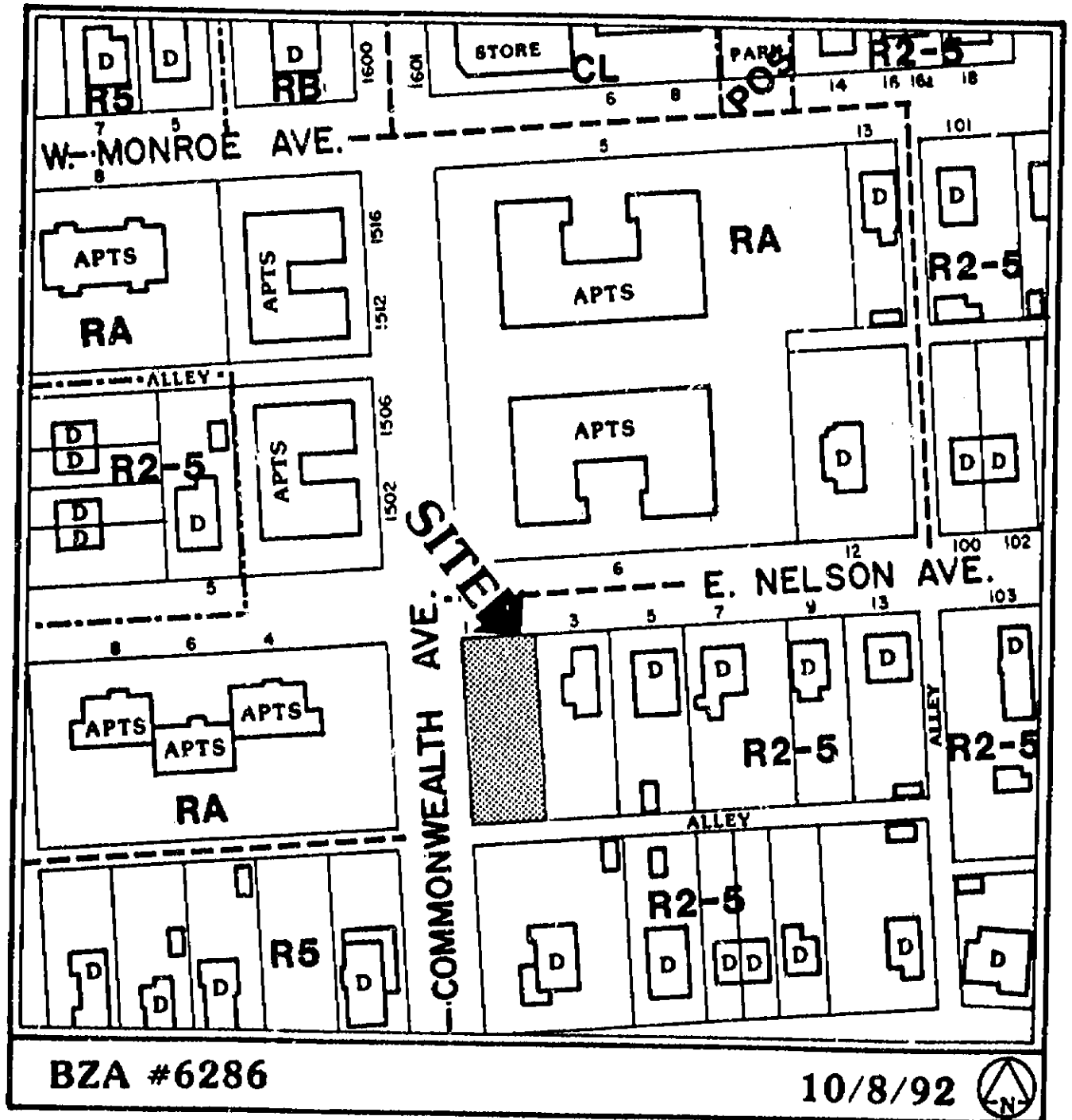
Board of Architectural Review:

F-1: Not in BAR jurisdiction.

Historic Alexandria (Archaeology):

F-1: Evaluation of this property indicates that the potential for significant archaeological resources to be present is low. No archaeological action required.

The subject property and surrounding land uses are shown on the sketch below:



BZA #6286

10/8/92





APPLICATION

BOARD OF ZONING APPEALS
CITY OF ALEXANDRIA, VIRGINIA

CASE # 6286



APPLICATION for: (check one)

- Appeal from Decision of Director of Planning Article XI, Division C, Section 11-1004(A), 1992 Zoning Ordinance, City of Alexandria, Virginia
- Variance Article XI, Division C, Section 11-1004(B), 1992 Zoning Ordinance City of Alexandria, Virginia
- Use by government agency Article XI, Division C, Section 11-1004(C), 1992 Zoning Ordinance, City of Alexandria, Virginia
- Exception Article XI, Division C, Section 11-1004(D), 1992 Zoning Ordinance, City of Alexandria, Virginia

SECTION(S) OF ZONING ORDINANCE FROM WHICH REQUEST IS MADE:

Section 3-506(A)(3) Alexandria Zoning Ordinance R-2-5 zone rear yard setback, and Section 3-506(A)(1) R-2-5 zone front yard setback.

PART A

1. APPLICANT: OWNER CONTRACT PURCHASER (check one)
NAME Our Development Company, a Virginia corporation
ADDRESS 7708 Elba Road, Alexandria, Virginia 22306
PHONE (703) 768-2190
2. PROPERTY LOCATION 1 East Nelson Avenue, Alexandria, Virginia
3. ASSESSMENT MAP 43.03 BLOCK 03 LOT 01 ZONE R-2-5
4. LEGAL PROPERTY OWNER:
NAME Our Development Company, a Virginia corporation
ADDRESS 7708 Elba Road, Alexandria, Virginia 22306

5. DESCRIBE REQUEST BRIEFLY Our Development Company, a Virginia corporation
(the "Applicant") is the owner of two (2) conforming R-2-5 zoned lots located
on the southeast corner of Commonwealth Avenue and East Nelson Avenue (the "Property").

The Property is part of the 1890 subdivision of the land of the Northwest
Alexandria Improvement Compny, dedicated and platted in Deed Book M-4, Page 92
among the land records of Arlington County, Virginia.

The Applicant proposes to construct a two family semi-detached dwelling on the
Property. The two family dwelling will be located in general conformity with the
preliminary plot plan submitted with this applicaton (the "Plan"), and has been
designed to be consistent with the character of the immediate surrounding area.

6. If property owner or applicant is being represented by an authorized agent such as an attorney, realtor, or other person for which there is some form of compensation, does this agent or the business in which they are employed have a business license to operate in the City of Alexandria, Virginia?

Yes - Provide proof of current City business license SEE EXHIBIT A

No - Said agent shall be required to obtain a business license prior to filling application

THE UNDERSIGNED HEREBY ATTESTS that all of the information herein provided including the site plan, building elevations, prospective drawings of the projects, etc., are true, correct and accurate. The undersigned further understands that, should such information be found incorrect, any action taken by the Board based on such information may be invalidated. The undersigned also hereby grants the City of Alexandria permission to post placard notice as required by Article XI, Division A, Section 11-301(B) of the 1992 Alexandria City Zoning Ordinance, on the property which is the subject of this application. The applicant, if other than the property owner, also attests the he/she has obtained permission from the property owner to make this application.

APPLICANT OR AUTHORIZED AGENT:

Duncan Wardman Blair
Attorney for ~~Project Name~~ Our Development Company

OUR DEVELOPMENT COMPANY,
a Virginia corporation

By: *Duncan Blair*
Signature

(703) 838-5109
Telephone

August 25, 1992
Date

PART B (Section 11-1102)

APPLICANT MUST EXPLAIN THE FOLLOWING:

1. (a) The special conditions, circumstances or characteristics of the land, building or structure that prevent the use of the land in compliance with the requirements of the Alexandria Zoning Ordinance.
- (b) A statement as to whether such conditions existed at the time the current owner acquired the property.

ANSWER (a) Lot 501 of the Property has insufficient depth, 50 feet, to satisfy the front yard and rear yard setbacks of the R-2-5 zone regulations. As designed, the southern component of the two family dwelling has a height of twenty-seven (27') feet. As such the required rear yard setback is twenty-seven (27') feet. The combined rear yard setback and front yard setback is fifty-two (52') feet, or in excess of the lot depth leaving no buildable area.

(b) The depth of the Property off Commonwealth Avenue is the same as when acquired by the Applicant and was not altered by the resubdivision of the Property into two (2) conforming R-2-5 lots.

2. The particular characteristics or conditions which distinguish the land from other land in the same zoning district

ANSWER: The Property is a corner lot of sufficient lot area and frontage to conform with the new R-2-5 zone regulations and be redeveloped by a two family semi-detached dwelling.

The 1890 subdivision plat of the Property is unusual in that it dedicates a right-of-way for streets and an area approximately seven and one-half (7.5') feet between the edge of the right-of-way and the Property for pedestrian usage. Thus the proposed dwelling is setback twenty-six and one-half (26.5') feet from the planned edge of the pavement. In 1984 the then owner of the Property was granted a front yard variance to build nineteen (19') feet from the Commonwealth Avenue property line.

PART B (Section 11-1102)

3. The particular hardship which would result if the provisions or requirements of the Alexandria Zoning Ordinance from which relief is sought are applied to the subject property

ANSWER: The Applicant could not construct the two family dwelling and would effectively be precluded from any use of that portion of the Property designated Lot 501 on the Plan.

4. The extent to which it would be necessary to vary the requirements of the Alexandria Zoning Ordinance in order to permit the proposed construction on, or use of, the property

ANSWER: The Applicant is requesting a six (6') foot variance from the R-2-5 zone front yard setback requirements and an eleven (11') foot setback from the R-2-5 zone rear yard setback requirement. The portion of the two family dwelling to be constructed on Lot 500 does not require any variance from the R-2-5 zone regulations.

5. Identify all persons or entities who have a legal or equitable interest in the subject property, and a description of the nature of that interest.

ANSWER: Our Development Company is a Virginia corporation. The sole shareholder is Richard E. Heapes.

PART C (Section 11-1103)

1. Applicant: In order to grant your requested variance(s) the Board of Zoning Appeals must find that your application meets each of the following standards. Explain in detail how the requested variance(s) conforms to each of the following standards. (NOTE: The applicant shall bear the burden of producing evidence establishing that the requested variance(s) satisfies these standards.)

(a) The particular physical surroundings, shape, topographical condition, or other extraordinary situation or condition of the specific property involved that would effectively prohibit or unreasonably restrict the utilization of the property or would constitute a clearly demonstrable hardship approaching confiscation, as distinguished from a mere inconvenience if the strict letter of the Zoning Ordinance regulations were carried out

ANSWER The Property has a depth of fifty (50') feet off Commonwealth Avenue. The required R-2-5 front yard and rear yard setbacks applicable to the development of the Property exceed the fifty (50') foot depth of the Property. The fifty (50') foot depth was established by the original subdivision of the Property in 1890.

(b) The conditions upon which the petition for a variance(s) is based are not applicable generally to other property within the same zoning classification

ANSWER The Property is a conforming R-2-5 lot, but its lot depth of Commonwealth Avenue fifty (50') feet is less depth than the lots in the immediate area.

PART C (Section 11-1103)

(c) The property was acquired in good faith and any hardship produced by the Zoning Ordinance was not created by the owner of the property

ANSWER The Property was acquired by the Applicant as a conforming R-2-5 lot both under the repealed provisions of Title Seven, Chapter 6 governing R-2-5 zoned properties and the provisions of Section 3-500 et seq of the new Zoning Ordinance governing R-2-5 single and two family dwellings. The Applicants resubdivision did not alter the lot depth creating the unreasonable restriction on the use of the Property.

(d) The granting of the variance(s) will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located, or diminish or impair the values thereof

ANSWER The proposed construction of a two-family dwelling has been designed to be consistent with the character of the R-2-5 zone regulations and the immediate area.

(e) The proposed variance(s) will not impair an adequate supply of light and air to adjacent property, or cause or substantially increase congestion in the public streets, or increase the danger of fire or the spread of fire, or endanger the public safety

ANSWER As designed, the two family dwelling does not impair the adequate supply of light and air to adjacent property, or cause or substantially increase congestion in the public streets, or increase the danger of fire or the spread of fire, or endanger the public safety.

PART C (Section 11-110.3)

(f) The variance(s), if granted, will not alter the essential character of the area or be a substantial detriment to adjacent property

ANSWER The proposed two family dwelling is consistent with the character of the R-2-5 zone regulations and the immediate surrounding area.

(g) The strict application of the Zoning Ordinance would produce undue hardship.

ANSWER The strict application of the Zoning Ordinance would effectively prohibit any use of the portion of the Property designated Lot 501, as the application of the required front yard and rear yard setbacks leave little or no buildable area on a lot that complies with the R-2-5 zone regulations.

(h) Such undue hardship is not shared generally by other properties in the same zone and vicinity

ANSWER The majority of lots as shown on the City of Alexandria Tax Maps have a greater depth.

PART C (Section 11-1103)

- (i) No other remedy exists whereby the same relief was, is or may be available from another City board or commission as part of its review of a site plan, special use permit, or other development application.

ANSWER: To the Applicant's knowledge, no other remedy exists.

PART D

- 1 Are any alternatives available whereby the requested variance(s) would not be needed?
 No Yes

Explain all efforts to identify such alternatives and why such alternatives are unsatisfactory

ANSWER: The Applicant made a number of studies of the Property for
the construction of a two family dwelling. The Plan reflects in the
Applicant's opinion the design most consistent with the R-2-5 zone and
the immediate area.

1992
BUSINESS LICENSE

THIS LICENSE EXPIRES
DECEMBER 31, 1992 AND
MUST BE RENEWED BY
JANUARY 31, 1993 TO AVOID
PENALTIES AND INTEREST.

DEPARTMENT OF FINANCE
BUSINESS TAX BRANCH
CITY HALL — ROOM 1500
ALEXANDRIA, VA 22313
(703) 838-4680

TRADE NAME HENRY A THOMAS/LAW OFFICES
BUSINESS ADDRESS 510 KING STREET STE 200
BUSINESS DESCRIPTION ATTORNEY'S AT LAW

LICENSEE AND MAILING ADDRESS

THOMAS HENRY A & BLAIR D
P O BOX 820
ALEXANDRIA, VIRGINIA 22313

6286

NOT VALID WITHOUT CURRENT YEAR LICENSE NUMBER.

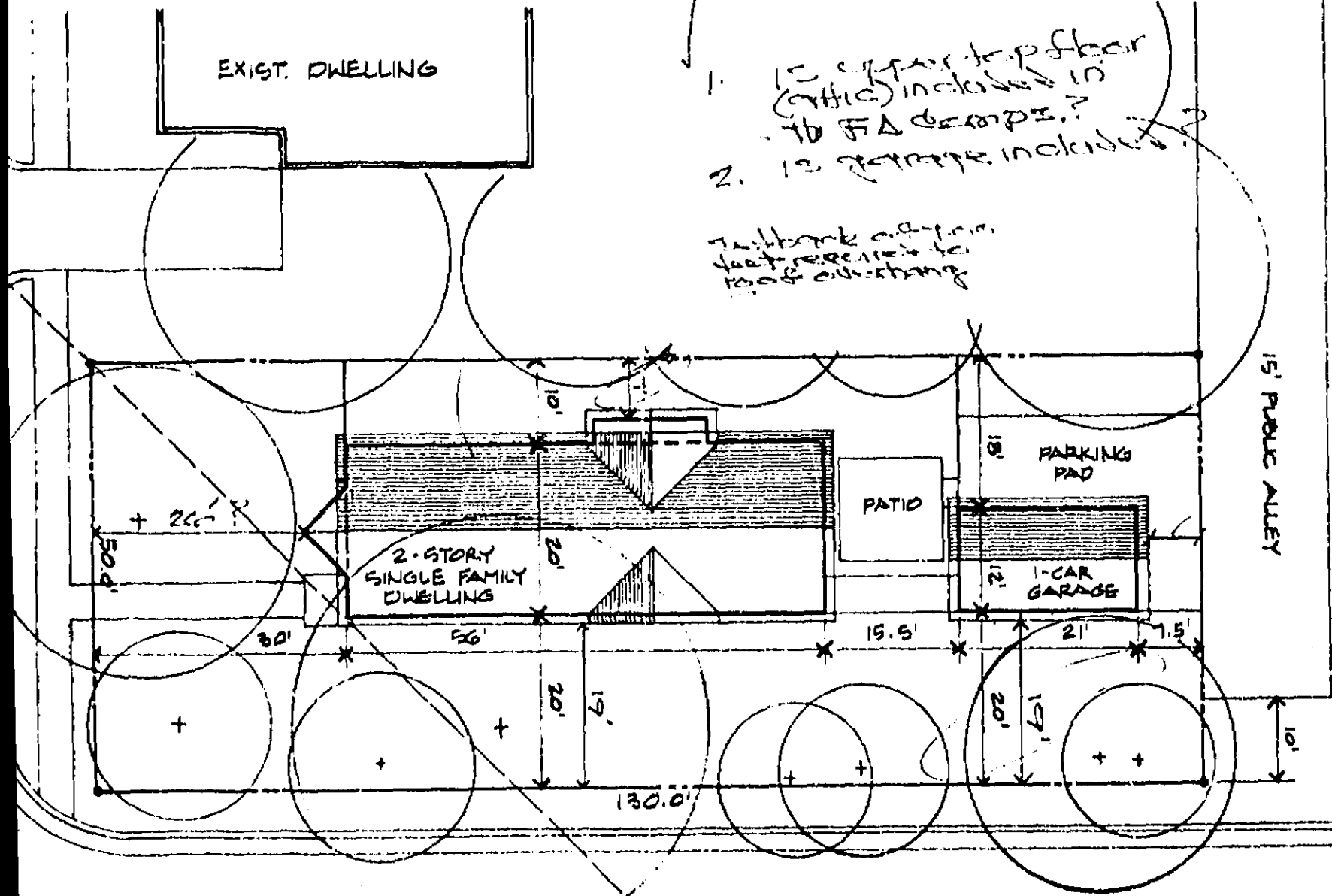
EXHIBIT "A"

FILED

EXIST. DWELLING

- 1. Is upper floor (attic) included in FD compz.?
- 2. Is garage included?

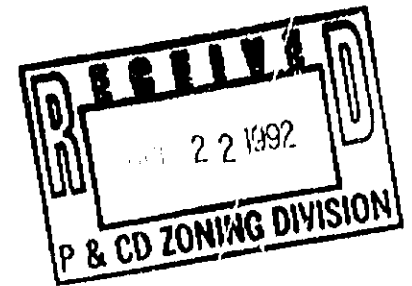
Trailbank map in feet refer to road centerline



Setback must be 7.00 feet.

Include in variance request

ZONING TABULATION



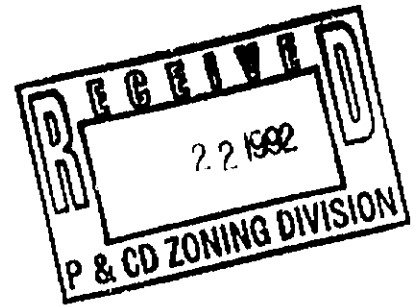
1. Zone: R-2-5 / Single and Two Family Zone
2. Proposed use: Single Family Dwelling
3. Lot Requirements:
 - A. Minimum Lot Size - Corner Lot
Required: 6,500 s.f.
Provided: 6,500 s.f.
 - B. Minimum Land Area - Single Family Dwelling
Required: 5,000 s.f.
Provided: 6,500 s.f.
 - C. Minimum Lot Width - Corner Lot
Required: 65 feet
Provided: 50 feet*
 - D. Minimum Lot Frontage - Corner Lot
Required: 40 feet
Provided: 50 feet
4. Yard Requirements:
 - A. Minimum Front Yard
Required: 25 feet
Provided: 25 feet at Nelson; 20 feet at Commonwealth*
 - B. Minimum Side Yard
Required: Setback Ratio of 1:3; 7 ft. Min.
Provided: 10 feet; 7 ft. Min.
 - C. Minimum Rear Yard: Not Applicable
5. Maximum Floor Area Ratio
Permitted: 6,500 X 0.45 FAR = 2,925 s.f.
Provided: 2,600 s.f./ 6,500 s.f. = 0.40 FAR

* application has been prepared for a special use permit

SUP 2631

6. Maximum Building Height
Permitted: 35 feet
Provided : 27 feet; 2-stories

7. Off-Street Parking:
Required: 2 spaces
Provided: 2 spaces



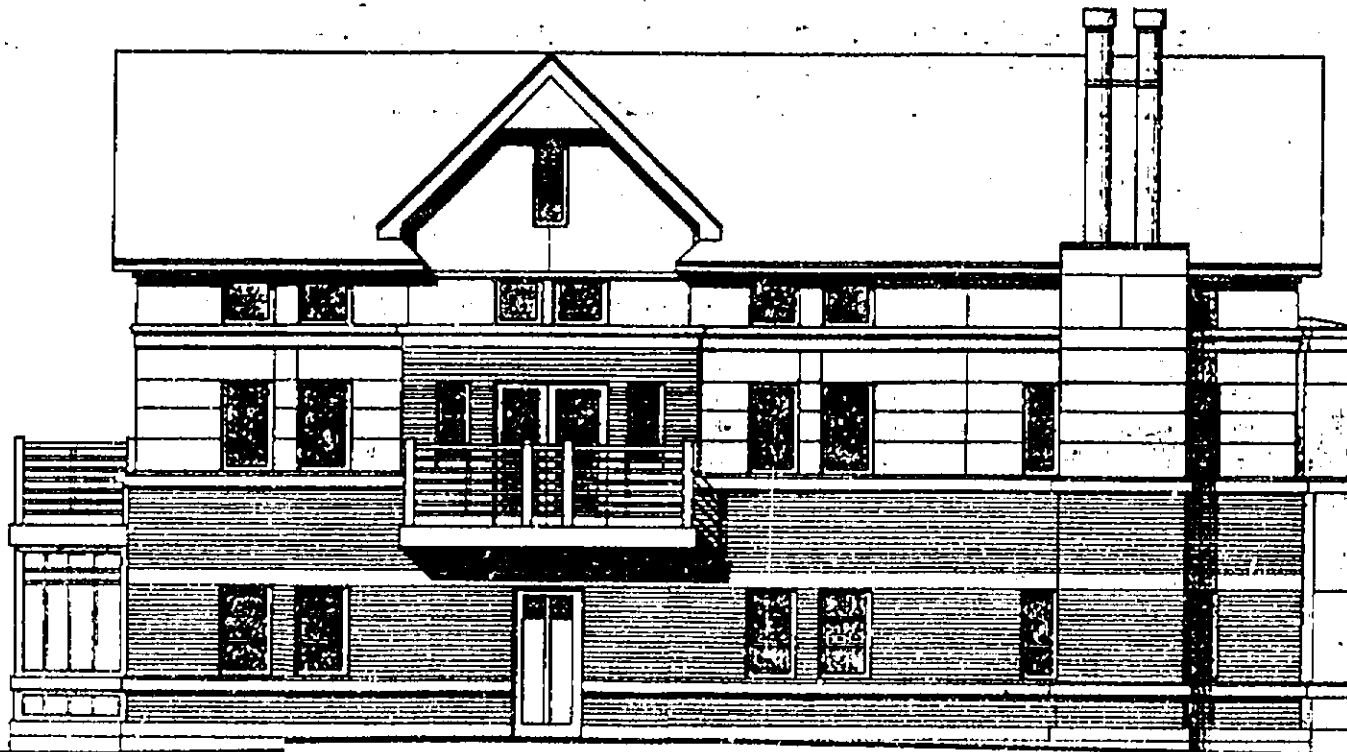
ZONING TABULATION

1. Zone: R-2-5 / Single and Two Family Zone
2. Proposed use: Single Family Dwelling
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 - A. Minimum Lot Size - Corner Lot
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Provided: 6,500 s.f.
 - B. Minimum Land Area - Single Family Dwelling
Required: 5,000 s.f.
Provided: 6,500 s.f.
 - C. Minimum Lot Width - Corner Lot
Required: 65 feet
Provided: 50 feet *
 - D. Minimum Lot Frontage - Corner Lot
Required: 40 feet
Provided: 50 feet
4. Yard Requirements:
 - A. Minimum Front Yard
Required: 25 feet
Provided: 25 feet at Nelson; ¹⁷20 feet at Commonwealth *
 - B. Minimum Side Yard
Required: Setback Ratio of 1:3; 7 ft. Min.
Provided: ~~10 feet~~; 7 ft. Min.
 - C. Minimum Rear Yard: Not Applicable
5. Maximum Floor Area Ratio
Permitted: 6,500 X 0.45 FAR = 2,925 s.f.
Provided: 2,800 s.f./ 6,500 s.f. = 0.43 FAR

* application has been prepared for a special use permit

6. **Maximum Building Height**
Permitted: 35 feet
Provided : 27 feet; 2-stories

7. **Off-Street Parking:**
Required: 2 spaces
Provided: 2 spaces

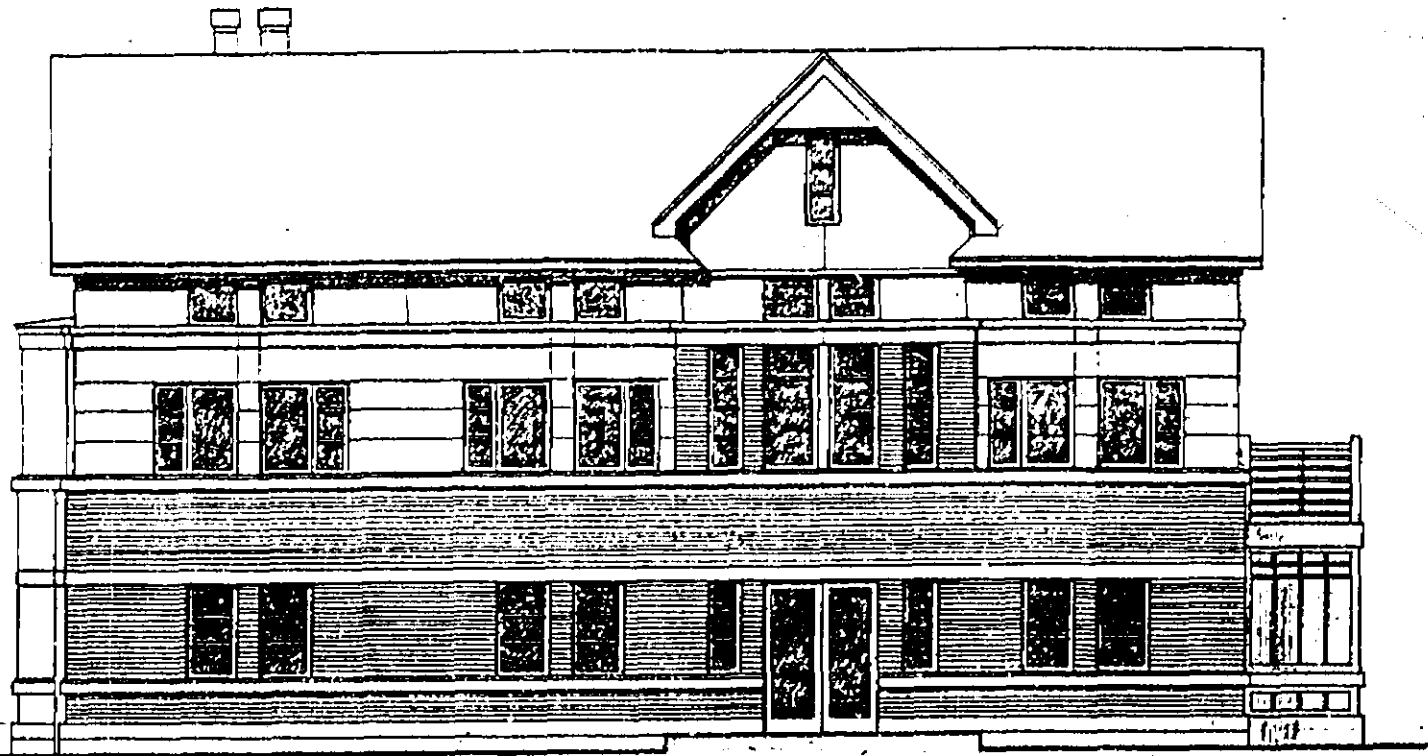


EAST ELEVATION

NOTE: THIS IS A CONCEPTUAL DESIGN SKETCH
THE ACTUAL DESIGN MAY VARY FROM THIS DRAWING.

JAMES T. VIVIANO, A.I.A.
ARCHITECT

2015 #2015

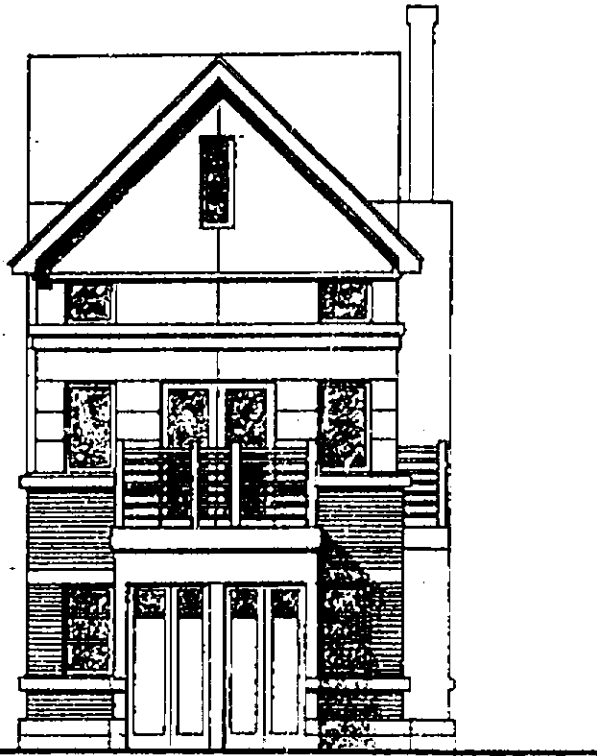


WEST ELEVATION

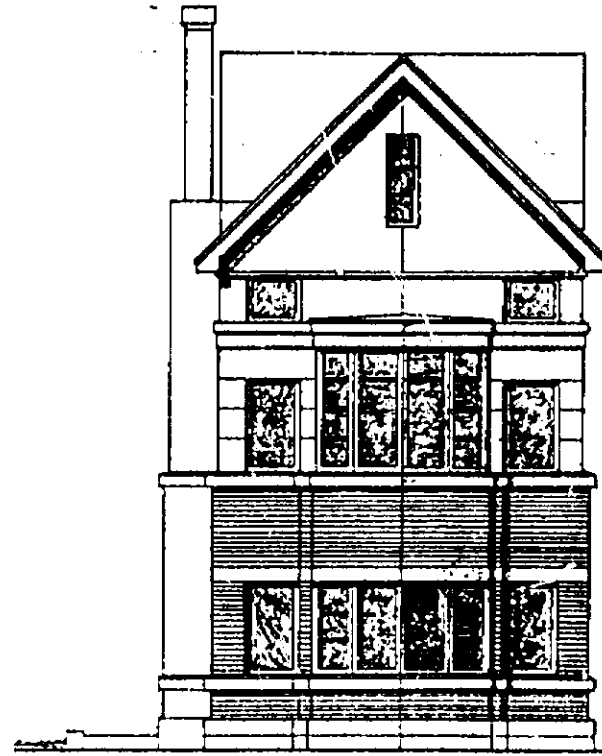
NOTE: THIS IS A CONCEPTUAL DESIGN SKETCH
THE ACTUAL DESIGN MAY VARY FROM THIS DRAWING.

JAMES T. VIVIANO, A.I.A.
ARCHITECT

SNIP # 2631



SOUTH ELEVATION



NORTH ELEVATION

NOTE: THIS IS A CONCEPTUAL DESIGN SKETCH
THE ACTUAL DESIGN MAY VARY FROM THIS DRAWING.

JAMES T. VIVIANO, A.I.A.
ARCHITECT

12031

CITY OF ALEXANDRIA

FROM: Charlie / Peter

DATE: 5-5-93

3. Stiller _____ 4. _____
 _____ 5. _____
 _____ 6. _____

- FOR:
- | | |
|--|--|
| <input type="checkbox"/> ACTION | <input type="checkbox"/> PER CONVERSATION |
| <input type="checkbox"/> APPROVAL | <input type="checkbox"/> RECOMMENDATIONS |
| <input type="checkbox"/> AS REQUESTED | <input type="checkbox"/> SEE ME |
| <input type="checkbox"/> CORRECTION | <input checked="" type="checkbox"/> SIGNATURE |
| <input type="checkbox"/> FULL REPORT | <input checked="" type="checkbox"/> YOUR COMMENT |
| <input type="checkbox"/> HANDLE | <input type="checkbox"/> YOUR INFORMATION |
| <input type="checkbox"/> NOTE AND RETURN | <input type="checkbox"/> APPROVED |
| <input type="checkbox"/> HANDLE, COPY TO THIS OFFICE | <input type="checkbox"/> DISAPPROVED |

Number of acknowledgments by _____
 Date reply for signature of _____

MARKS:
 Please find attached building plans submitted for development of
 1 East Nelson Avenue submitted last. Please review the attached
 number of drawings from City Council's approved plan vs the
 new plan. The variations have been noted in yellow and an
 accompanying list and notes the variations for the two plans. A
 copy of the old drawings are attached.

PLEASE: If you sign the attached plans if the minor variations are acceptable.
 If you do not sign the plans be approved and released to T. G.S.



Minor variations identified on 1 East Nelson Avenue plan / bldg plans

	Approved SUP Plan	Bldg Plan
Foundation	36' length	38' length
Roof dormer	11'-6" length 7' ht	15' length 6'9" ± ht
Roof dormer vent	centered	peak of dormer
detached garage	18' ht	17' ht
chimney cap	not identified	placed on plan
Arbor/trellis	three columns trellis header continuous	2 columns header gapped between garage/house header shown
entrance entrance	entry header not shown flower box	no flower box
bldg ht	30'-7" ht	31' ht ±
fence	shown (east property yard)	not shown (east property yard)
Nelson Ave fringe of bldg	no window east side of bldg	window shown
basement	no small windows shown	three (3) additional small windows
stoop	two vixis	3 vixis
stoop light	not shown	shown
Attic	no window facing Nelson Avenue	no window facing Nelson Avenue

Recommendation: Bldg permit plans reflect the spirit/intent of SUP 2631 plan submitted to City Council.
Recomm's approval of bldg permit.

SITE LOCATION: 1 E. NELSON AV. **2631**

construct a dwelling on a substandard lot

REMARKS:

Special Use Permit
 Board of Zoning Appeals
 Eminent Domain
 Vacation
 Subdivision
 Site Plan
 B.A.R.

Action of City Council:	Granted	Granted Subject to Conditions	Granted in Part	Denied	Deferred
Recommendation of Planning Commission:	Granted	Granted Subject to Conditions	Granted in Part	Denied	Withdrawn
Action of Board of Zoning Appeals:	Granted	Granted Subject to Conditions	Granted in Part	Denied	Withdrawn
Action of Board of Architectural Review:	Granted	Granted Subject to Conditions	Granted in Part	Denied	Withdrawn

Applicant: _____ Map # 43.03-03 Zone R-2-5

Public Hearing:

Planning Commission NOV. 5, 1992 City Council NOV. 5, 1992 B.Z.A. _____ B.A.R. _____
DEC. 1, 1992
JAN. 5, 1993

RESOLUTION TEST TARGET (NE-2)

85 LINE (33,50 LIGNE CM)

10x 20x 30x 40x 50x

MICROMEDIA LABORATORIES INCORPORATED
 5410 Roanoke Place, Suite 101B
 College Park, MD 20740
 Telephone: (301) 982-5815

10 PT. ABCDEFGHIJKLMNOPQRSTUVWXYZ
 abcdefghijklmnopqrstuvwxyz 1234567890
 8 PT. ABCDEFGHIJKLMNOPQRSTUVWXYZ
 abcdefghijklmnopqrstuvwxyz 1234567890
 6 PT. ABCDEFGHIJKLMNOPQRSTUVWXYZ
 abcdefghijklmnopqrstuvwxyz 1234567890

10 PT. ABCDEFGHIJKLMNOPQRSTUVWXYZ
 abcdefghijklmnopqrstuvwxyz 1234567890
 8 PT. ABCDEFGHIJKLMNOPQRSTUVWXYZ
 abcdefghijklmnopqrstuvwxyz 1234567890
 6 PT. ABCDEFGHIJKLMNOPQRSTUVWXYZ
 abcdefghijklmnopqrstuvwxyz 1234567890

150mm
6"

CITY OF ALEXANDRIA VIRGINIA

CERTIFICATE OF AUTHENTICITY

This certifies that the microfilm images appearing on this record are accurate reproductions of the records of the City of Alexandria, Virginia, Department of Planning and Community Development, and were microphotographed in accordance with established government and industry standards, ensuring that all documents, notes, and attachments have been included herein.

6-22-93 Date of Microfilming
KYE Camera Number

Deana Lechluder Camera Operator
R. Deskins Supervisor

MICROMEDIA LABORATORIES INCORPORATED
 5410 Roanoke Place, Suite 101B • College Park, MD 20740 • (301) 982-5815

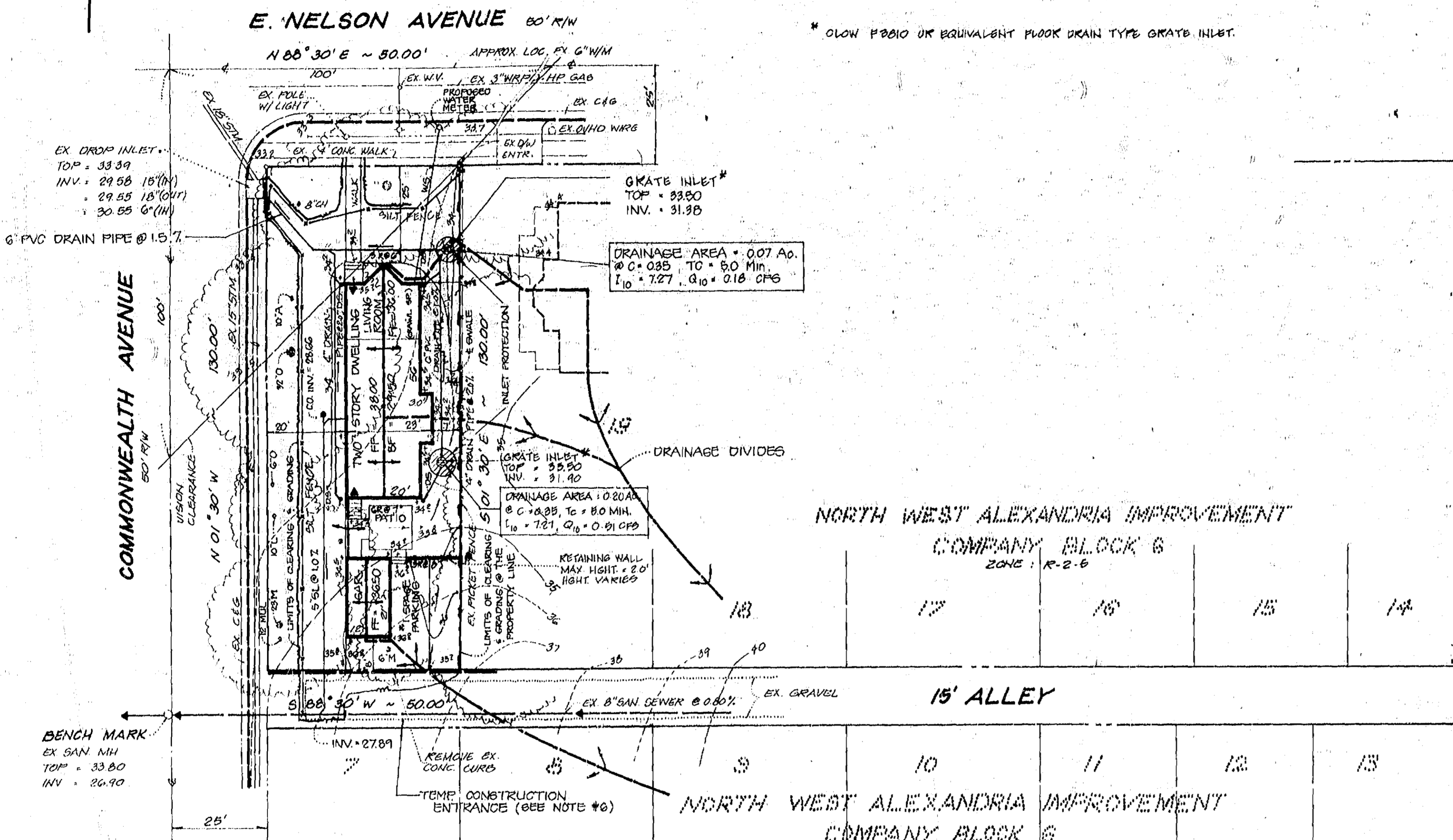
PROJECT DESCRIPTION:

THIS PROJECT CONSISTS OF THE CONSTRUCTION OF ONE FAMILY DWELLING UNIT WITH ASSOCIATED PARKING SPACE AND GARAGE.

PLANTING:

REQUIRED: 6,500 SQUARE FEET X 25% = 1,625 SQUARE FEET
 PROVIDED: 4,310 SQUARE FEET OF EXISTING TREES TO REMAIN

* CLOW P8010 OR EQUIVALENT FLOOR DRAIN TYPE GRATE INLET.

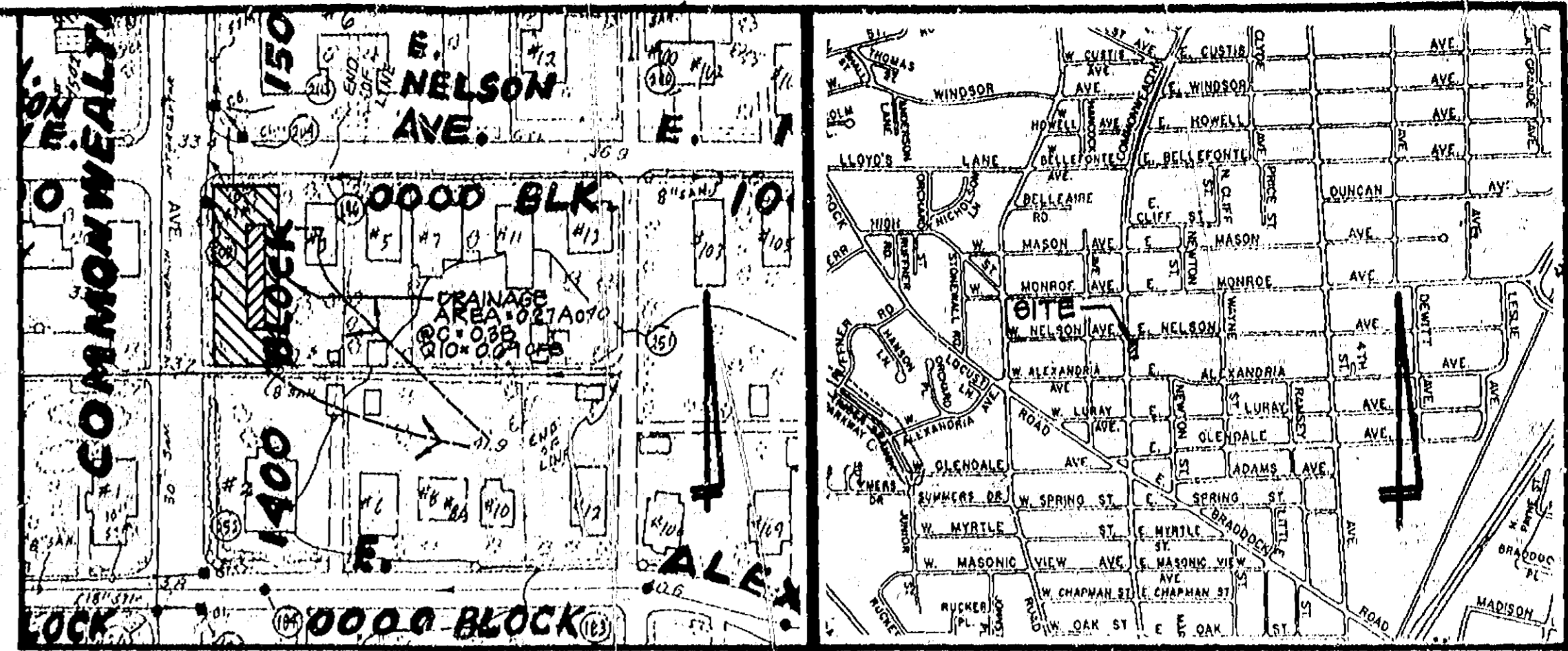


APPROVED
 Complies with Zoning requirements
 6-10-92
 Date: Approved at install retaining wall per plat location. Approved for mark modification per 546 #2631

LEGEND

- A CH
- L M
- M MUL
- O OAK
- W WALNUT
- 35.6 EXISTING SPOT ELEVATION
- 35.8 PROPOSED SPOT ELEVATION
- ▲ BUILDING ENTRANCE
- D.H. DOWN SPOUT
- C.O. CLEAN OUT
- ⊗ DEMONSTRATE EXISTING TREE TO BE REMOVED
- DEMONSTRATE EXISTING TREE TO REMAIN

- ZONING TABULATION**
- ZONE: R-2-5/SINGLE AND TWO FAMILY ZONE
 - PROPOSED USE: SINGLE FAMILY DWELLING
 - LOT REQUIREMENTS:
 - A. MINIMUM LOT SIZE - CORNER LOT
REQUIRED: 6,500 SQUARE FEET
PROVIDED: 6,500 SQUARE FEET
 - B. MINIMUM LAND AREA - SINGLE FAMILY DWELLING
REQUIRED: 5,000 SQUARE FEET
PROVIDED: 6,500 SQUARE FEET
 - C. MINIMUM LOT WIDTH - CORNER LOT
REQUIRED: 65 FEET
PROVIDED: 50 FEET *
 - D. MINIMUM LOT FRONTAGE - CORNER LOT
REQUIRED: 40 FEET
PROVIDED: 50 FEET
 - YARD REQUIREMENTS:
 - A. MINIMUM FRONT YARD
REQUIRED: 25 FEET
PROVIDED: 25 FEET AT NELSON; 20 FEET AT COMMONWEALTH
 - B. MINIMUM SIDE YARD
REQUIRED: SETBACK RATIO OF 1:3; 7 FT. MIN.
PROVIDED: 10 FEET; 7 FT. MIN.
 - C. MINIMUM REAR YARD - NOT APPLICABLE
 - MAXIMUM FLOOR AREA RATIO
 PERMITTED: 6,500 X 0.45 FAR = 2,925 SQUARE FEET
 PROVIDED: 2,800 SQUARE FEET/6,500 SQUARE FEET = 0.43 FAR
- * APPLICATION HAS BEEN PREPARED FOR A SPECIAL USE PERMIT. PERMIT NO 2031 - APPROVED JANUARY 23, 1993.



OFF-SITE DRAINAGE AREA MAP SCALE: 1" = 100'
 VICINITY MAP SCALE: 1" = 1000'

- NOTES**
- THE PROPERTY DELINEATED HEREON IS LOCATED ON ASSESSMENT MAP 43.03-03-1 AND IS ZONED R-2-5/SINGLE AND TWO FAMILY ZONE.
 - NO TITLE REPORT WAS FURNISHED, WHICH MAY REFLECT EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD NOT SHOWN HEREON.
 - OWNER/DEVELOPER: GUR DEVELOPMENT COMPANY, 7708 ELBA ROAD, ALEXANDRIA, VIRGINIA 22306
 - TOTAL SITE AREA = 6,500 SQUARE FEET OR 0.1492 ACRES.
 - SEE ARCHITECTURAL PLANS FOR HOUSE DIMENSIONS NOT SHOWN HEREON.
 - USE EXISTING GRAVEL DRIVE FOR THE TEMPORARY CONSTRUCTION ENTRANCE AND REMOVE EXISTING CONCRETE CURB.
 - NO PART OF THIS CONSTRUCTION ACTIVITY WILL TAKE PLACE IN A RESOURCE PROTECTION AREA (RPA).
 - THIS PROPERTY IS SERVED BY PUBLIC SEWER AND WATER.
 - ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA, AND THE VIRGINIA STATEWIDE BUILDING CODE, 1990 EDITION.
 - CONTACT ALEXANDRIA ARCHAEOLOGY (838-4299) IMMEDIATELY IF ANY PREHISTORIC (ARROWHEADS, SHELL CONCENTRATIONS, BONES) ARTIFACTS ARE FOUND DURING CONSTRUCTION ACTIVITIES. THE IDENTIFICATION AND RECORDING OF THESE FINDS BY CITY ARCHAEOLOGISTS WILL NOT DELAY THE CONSTRUCTION SCHEDULE. IF, BY CHANCE, HISTORIC PERIOD STRUCTURAL REMAINS OR ARTIFACTS ARE FOUND, PLEASE CONTACT ALEXANDRIA ARCHAEOLOGY AS WELL.
 - LOCATION AND DEPTH OF UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - ELEVATIONS ARE BASED ON CITY DATUM.
 - TOTAL DISTURBED AREA = 5,800 SQUARE FEET.
 - EROSION AND SEDIMENT CONTROL MEASURES: AS A FIRST STEP OF CONSTRUCTION, CLEAR AND GRUB TO INSTALL TEMPORARY SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE, AS SHOWN ON PLAN, THEN CLEAR AND GRUB REMAINDER OF THE SITE.

APPROVED

CERTIFIED CORRECT
 Kenneth W. White
 KENNETH W. WHITE
 LAND SURVEYOR
 LICENSE NO. 1277 B

Approved Date 10/10/92
 Director of Administration and Environmental Services
PLOT PLAN
 LOT 20 BLOCK 6
NORTHWEST ALEXANDRIA IMPROVEMENT COMPANY
 (AS RECORDED IN LIBER 11-4 AT PAGE 92 IN ARLINGTON COUNTY, VIRGINIA)
CITY OF ALEXANDRIA, VIRGINIA
 SCALE: 1" = 20' NOVEMBER 12, 1992
 REVISION #1, CHANGE HOUSE TYPE, JANUARY 22, 1993
ALEXANDRIA SURVEYS, INC.
 6343 SOUTH KINGS HIGHWAY ALEXANDRIA, VA 22306

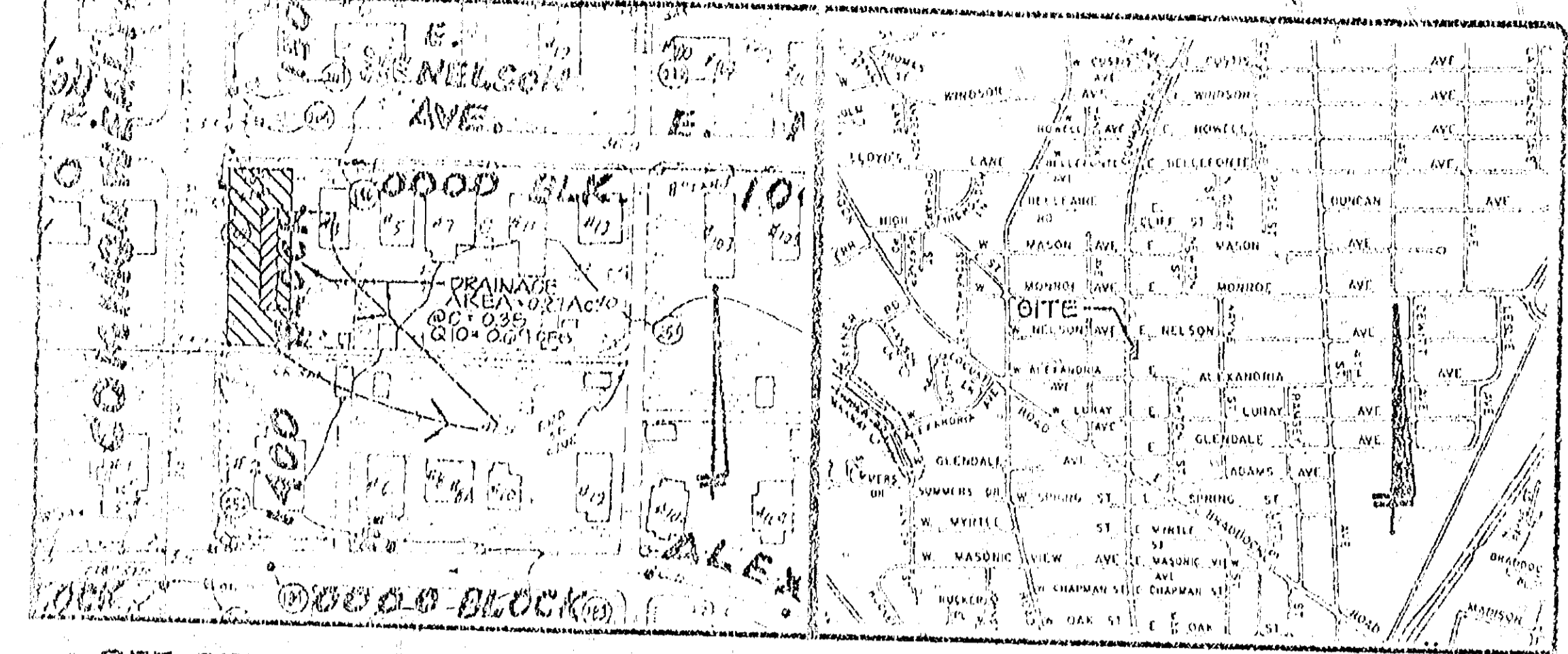
EAST ALEXANDRIA AVENUE
 60' R/W

REVISION # 2, CHANGE FLOOR ELEVATION & GRADING AND ADDED GRATE INLET. 9-1-93

FILE COPY

PROJECT DESCRIPTION:
THIS PROJECT CONSISTS OF THE CONSTRUCTION OF ONE FAMILY DWELLING UNIT WITH ASSOCIATED PARKING SPACE AND GARAGE.

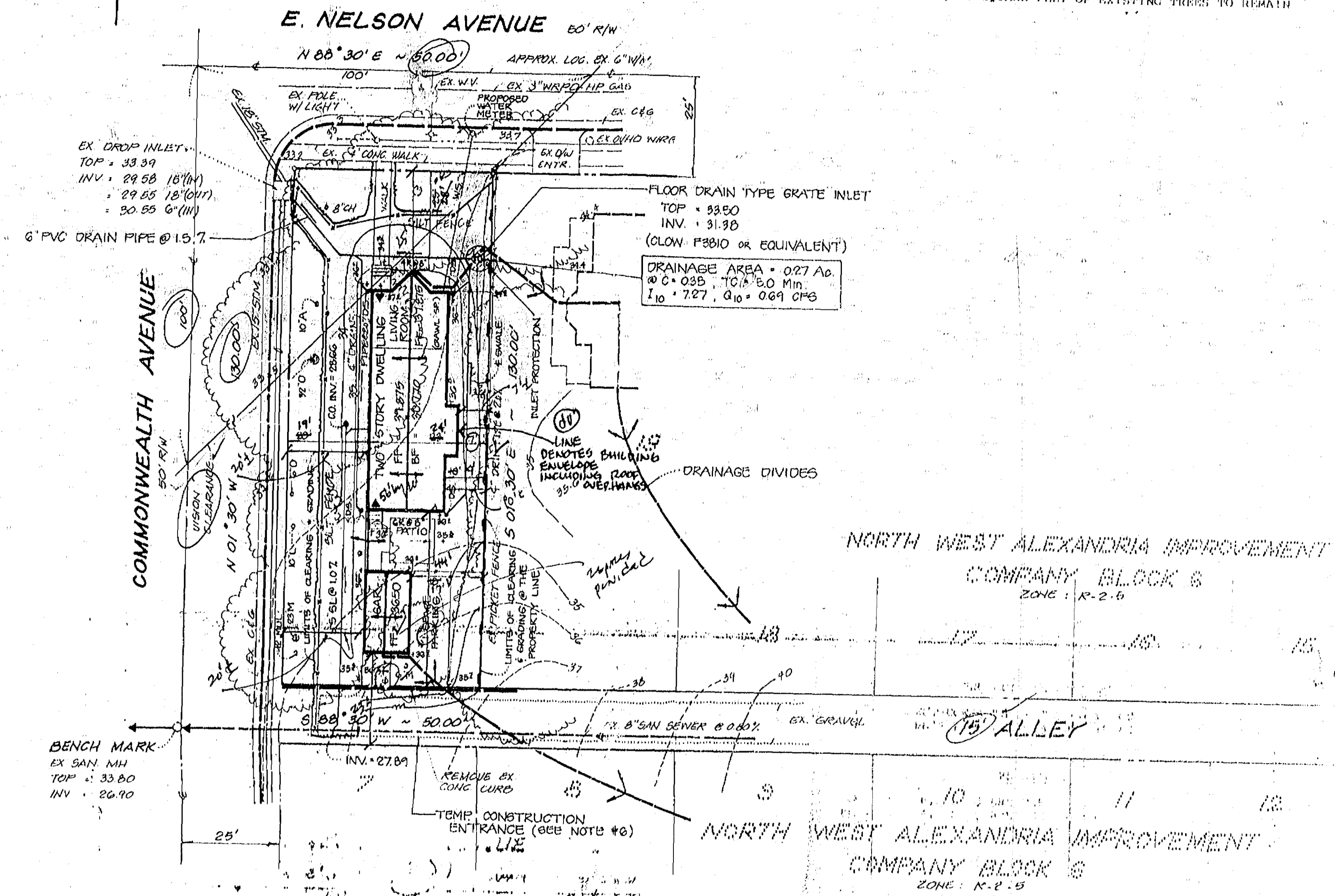
PLANTING:
REQUIRED: 6,500 SQUARE FEET X 25% = 1,625 SQUARE FEET
PROVIDED: 4,310 SQUARE FEET OF EXISTING TREES TO REMAIN



OFF-SITE DRAINAGE AREA MAP
SCALE: 1" = 100'

VICINITY MAP
SCALE: 1" = 1000'

- NOTES**
1. THE PROPERTY DELINEATED HEREON IS LOCATED ON ASSESSMENT MAP 43.03-03-1 AND IS ZONED R-2-5/SINGLE AND TWO FAMILY ZONE.
 2. NO TITLE REPORT WAS FURNISHED, WHICH MAY REFLECT EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD NOT SHOWN HEREON.
 3. OWNER/DEVELOPER: OUR DEVELOPMENT COMPANY, 7700 BOBA ROAD, ALEXANDRIA, VIRGINIA 22306
 4. TOTAL SITE AREA = 6,500 SQUARE FEET OR 0.1497 ACRES.
 5. SEE ARCHITECTURAL PLANS FOR HOUSE DIMENSIONS NOT SHOWN HEREON.
 6. USE EXISTING GRAVEL DRIVE FOR THE TEMPORARY CONSTRUCTION ENTRANCE AND REMOVE EXISTING CONCRETE CURB.
 7. NO PART OF THIS CONSTRUCTION ACTIVITY WILL TAKE PLACE IN A RESOURCE PROTECTION AREA (RPA).
 8. THIS PROPERTY IS SERVED BY PUBLIC SEWER AND WATER.
 9. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF ALEXANDRIA AND THE VIRGINIA STATISTICAL BUILDING CODE, 1993 EDITION.
 10. CONTACT ALEXANDRIA ARCHAEOLOGY (818-4299) IMMEDIATELY IF ANY PREHISTORIC (ARROWHEADS, SHELL CONCENTRATIONS, BONES) ARTIFACTS ARE FOUND DURING CONSTRUCTION ACTIVITIES. THE IDENTIFICATION AND RECORDING OF THESE FINDS BY CITY ARCHAEOLOGISTS WILL NOT DELAY THE CONSTRUCTION SCHEDULE. IF, BY CHANCE, HISTORIC PERIOD STRUCTURAL REMAINS OR ARTIFACTS ARE FOUND, PLEASE CONTACT ALEXANDRIA ARCHAEOLOGY AS WELL.
 11. LOCATION AND DEPTH OF UNDERGROUND UTILITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. INTERFERENCE OR DISRUPTION OF SAME WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 12. ELEVATIONS ARE BASED ON CITY DATUM.
 13. TOTAL DISTURBED AREA = 5,800 SQUARE FEET.
 14. EROSION AND SEDIMENT CONTROL MEASURES: AS A FIRST STEP OF CONSTRUCTION, CLEAR AND GRUB TO INSTALL TEMPORARY SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE, AS SHOWN ON PLAN, THEN CLEAR AND GRUB REMAINDER OF THE SITE.



ZONING TABULATION

ZONE: R-2-5 SINGLE AND TWO FAMILY ZONE
PROPOSED USE: SINGLE FAMILY DWELLING

MINIMUM LAND AREA - SINGLE FAMILY DWELLING
REQUIRED: 6,500 SQUARE FEET
PROVIDED: 6,500 SQUARE FEET

MINIMUM LOT WIDTH - CORNER LOT
REQUIRED: 65 FEET
PROVIDED: 50 FEET

MINIMUM LOT FRONTAGE - CORNER LOT
REQUIRED: 40 FEET
PROVIDED: 50 FEET

- 4. YARD REQUIREMENTS:**
- A. MINIMUM FRONT YARD
REQUIRED: 25 FEET
PROVIDED: 25 FEET AT NELSON; 20 FEET AT COMMONWEALTH
 - B. MINIMUM SIDE YARD
REQUIRED: SETBACK RATIO OF 1:1; 7 FT. MIN.
PROVIDED: 10 FEET; 7 FT. MIN.
 - C. MINIMUM REAR YARD - NOT APPLICABLE
- 5. MAXIMUM FLOOR AREA RATIO**
PERMITTED: 6,500 X 0.45 FAR = 2,925 SQUARE FEET
PROVIDED: 2,800 SQUARE FEET/6,500 SQUARE FEET = 0.41 FAR
- APPLICATION HAS BEEN PREPARED FOR A SPECIAL USE PERMIT.
PERMIT NO. 2001 APPROVED JANUARY 23, 1993
- 6. MAXIMUM BUILDING HEIGHT FROM AVE. GRADE TO AVE. ROOF 26'-0"**

LEGEND

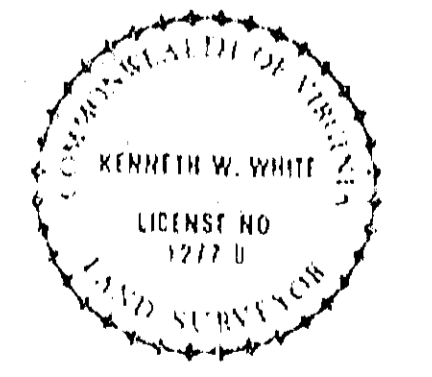
- | | |
|------|-------------------------------------|
| A | APPLE |
| CH | CHERRY |
| I | LOCUST |
| M | HADLE |
| MUL | MULBERRY |
| O | OAK |
| W | WALNUT |
| 35.6 | EXISTING SPOT ELEVATION |
| 35.9 | PROPOSED SPOT ELEVATION |
| ▲ | BUILDING ENTRANCE |
| ▲ | DOWN SPOUT |
| ▲ | CLEAN OUT |
| ▲ | DEMOTES EXISTING TREE TO BE REMOVED |
| ▲ | DEMOTES EXISTING TREE TO REMAIN |

EAST ALEXANDRIA AVENUE

All yard distances shall be measured from the furthest projecting point of the building including roof overhang to the nearest lot line.

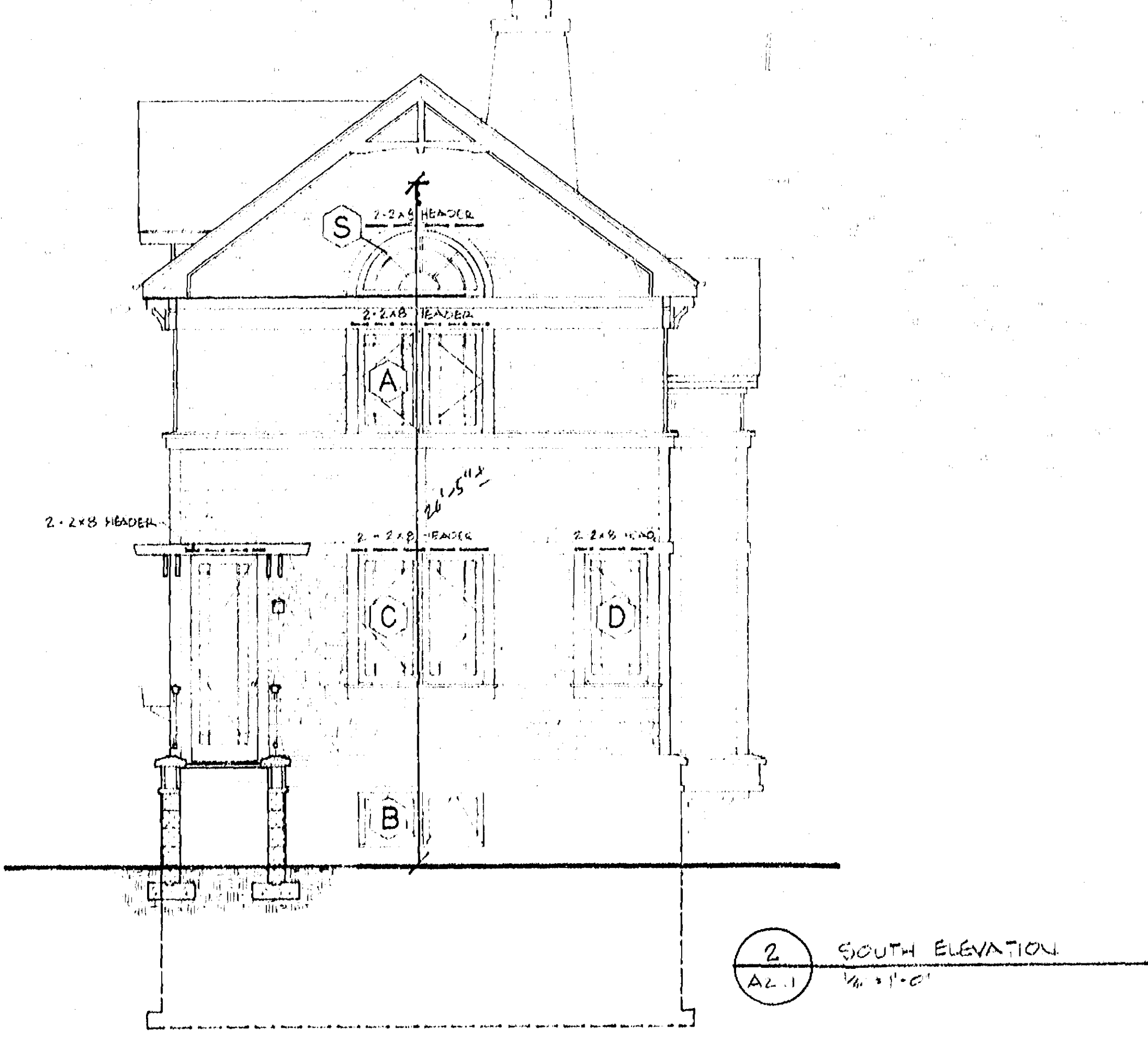
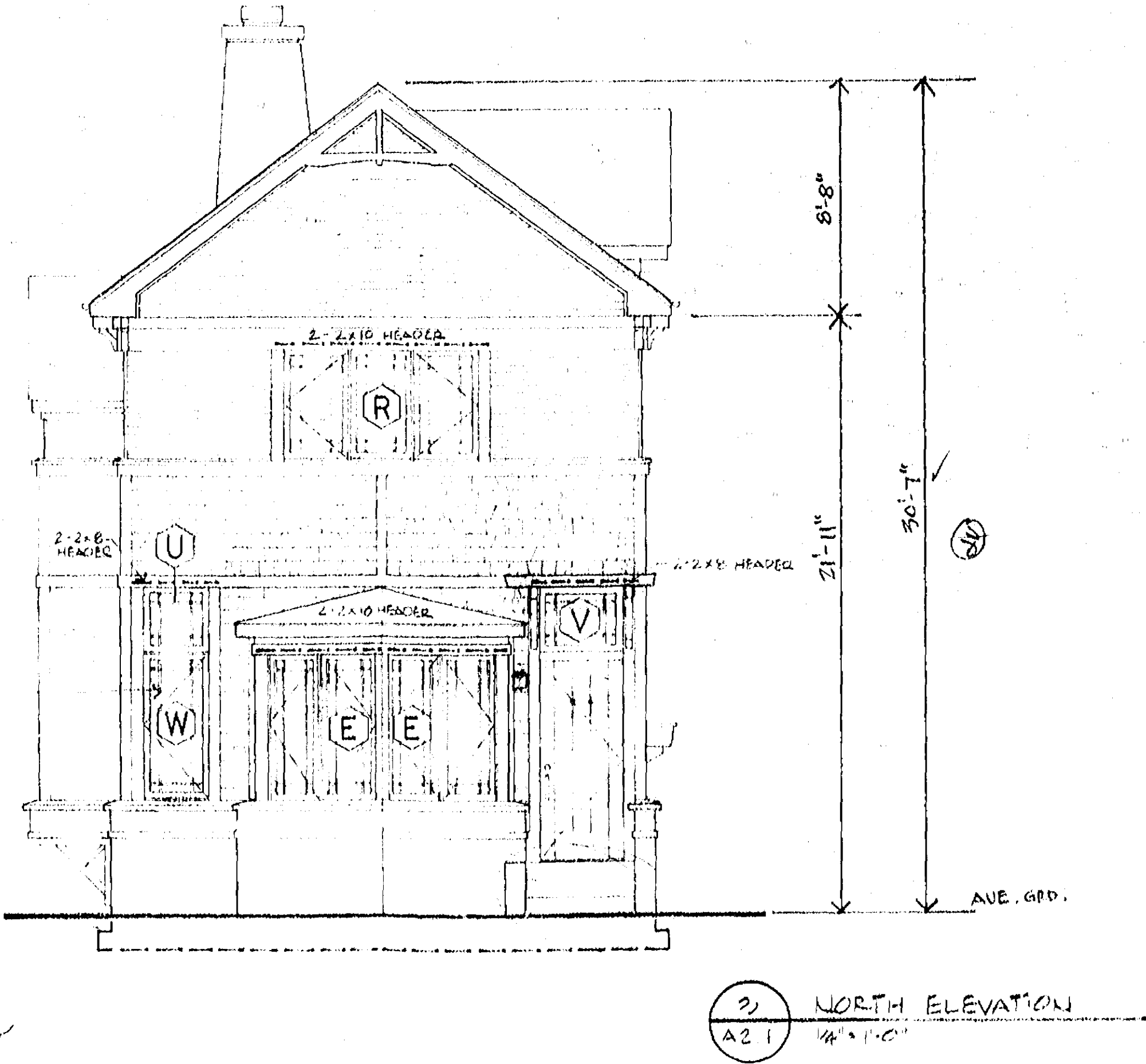
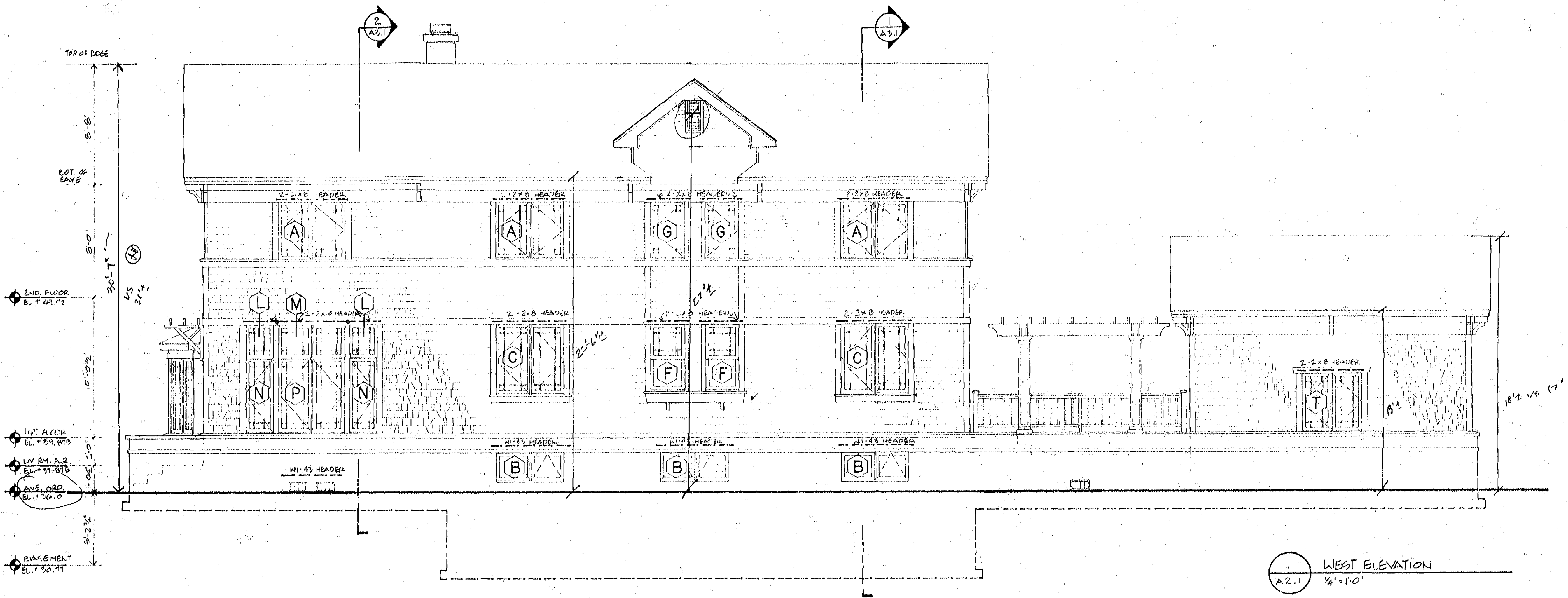
APPROVED
Date: 1/12/93
Director of Planning
Reviewed by zoning staff:
A. Williams/SM
Complies with applicable zoning regulations.

PLOT PLAN
LOT 20
BLOCK 6
NORTHWEST ALEXANDRIA IMPROVEMENT COMPANY
CITY OF ALEXANDRIA, VIRGINIA
ALEXANDRIA SURVEYS, INC.



JAMES T. VIVIANO, AIA
 ARCHITECT
 VA. LICENSE # 008586
 ALEXANDRIA, VA.
 703-549-0501

1 EAST NELSON AVENUE
 ALEXANDRIA, VA.

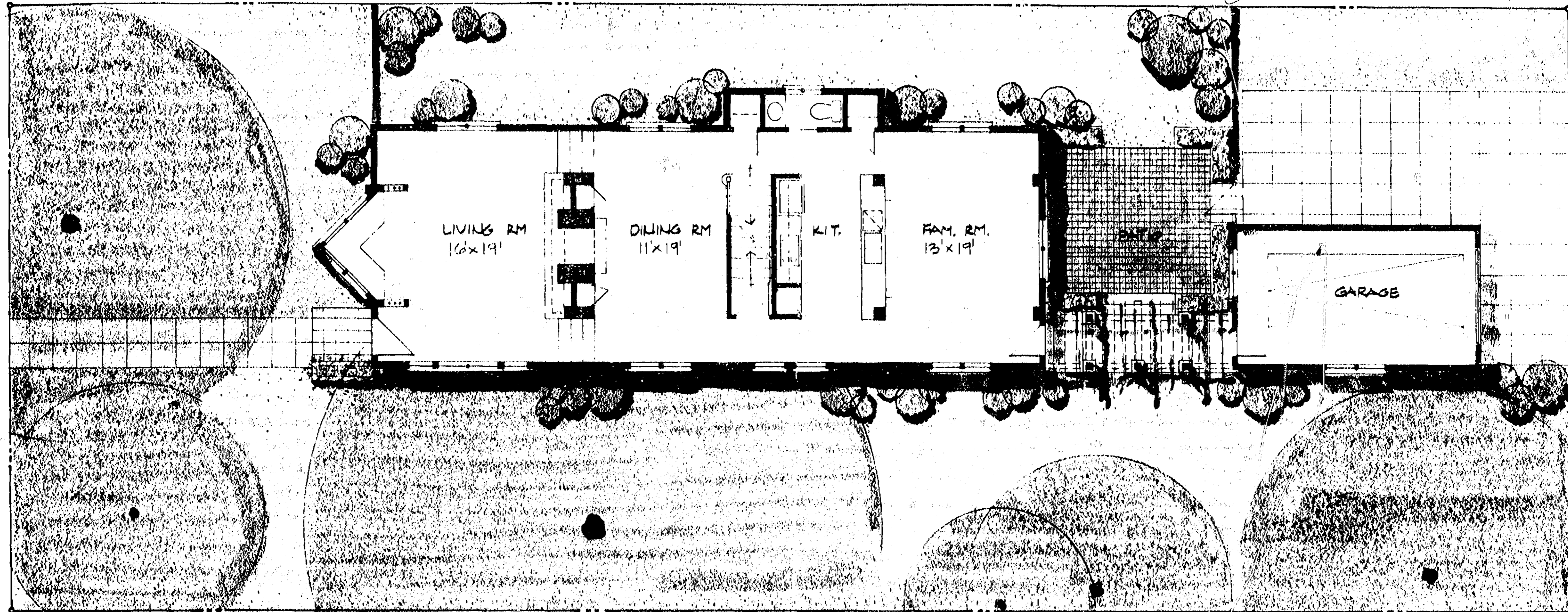


NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	05/03/93

ELEVATIONS

A2.1

*IBM
Correction
copy*



GROUND LEVEL PLAN
1/8" = 1'-0"

JAMES T. VIVIANO, AIA
ARCHITECT

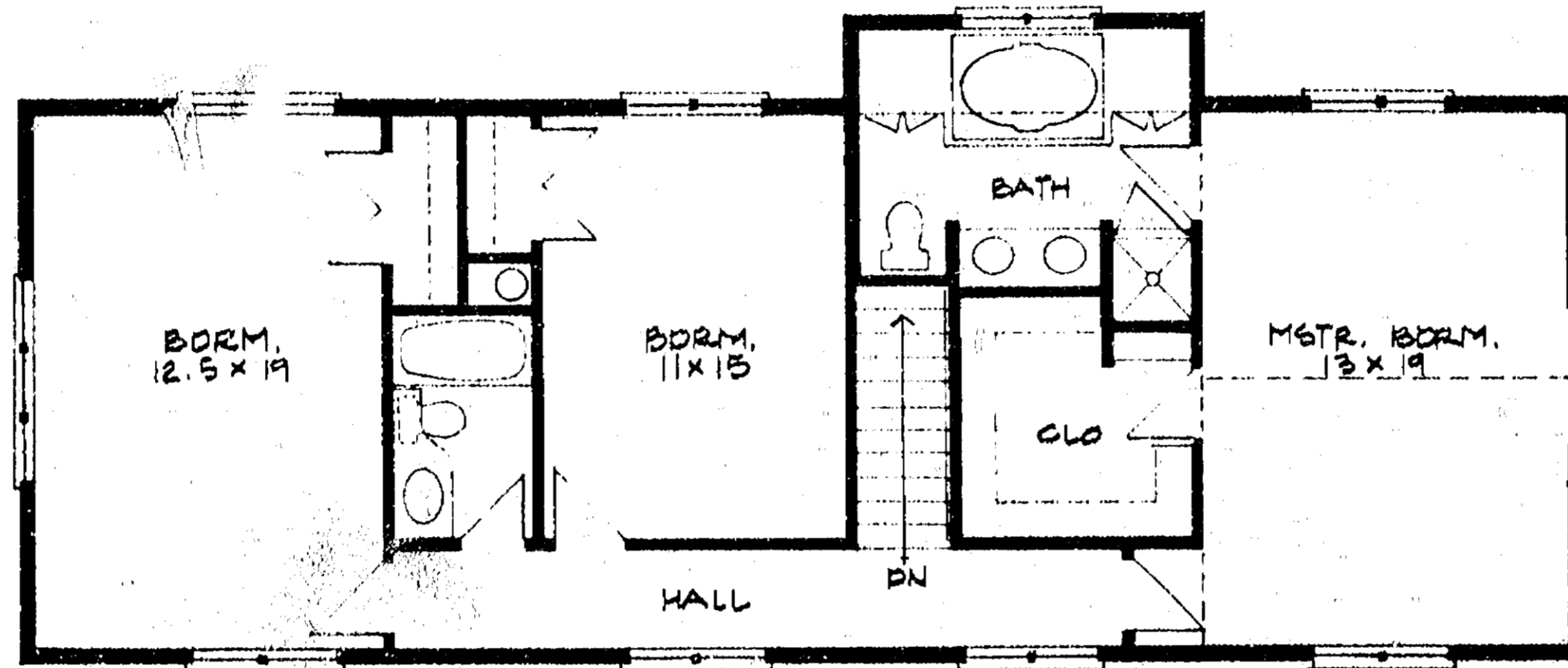
ONE EAST NELSON
ALEXANDRIA, VA.

NOTE: THIS IS A CONCEPTUAL DESIGN SKETCH, THE
ACTUAL DESIGN MAY VARY FROM THIS DRAWING.

RECEIVED 7-22-95

RECEIVED
DEC 28 1992
P & CD ZONING DIVISION

REVISED



SECOND LEVEL PLAN

1/8" = 1'-0"

JAMES T. VIVIANO, AIA
ARCHITECT

ONE EAST NELSON
ALEXANDRIA, VA.

NOTE: THIS IS A CONCEPTUAL DESIGN SKETCH, THE
ACTUAL DESIGN MAY VARY FROM THIS DRAWING.



COMMONWEALTH AVE. ELEVATION

1/8" = 1'-0"

JAMES T. VIVIANO, AIA
ARCHITECT

ONE EAST NELSON
ALEXANDRIA, VA.

NOTE: THIS IS A CONCEPTUAL DESIGN SKETCH. THE
ACTUAL DESIGN MAY VARY FROM THIS DRAWING.

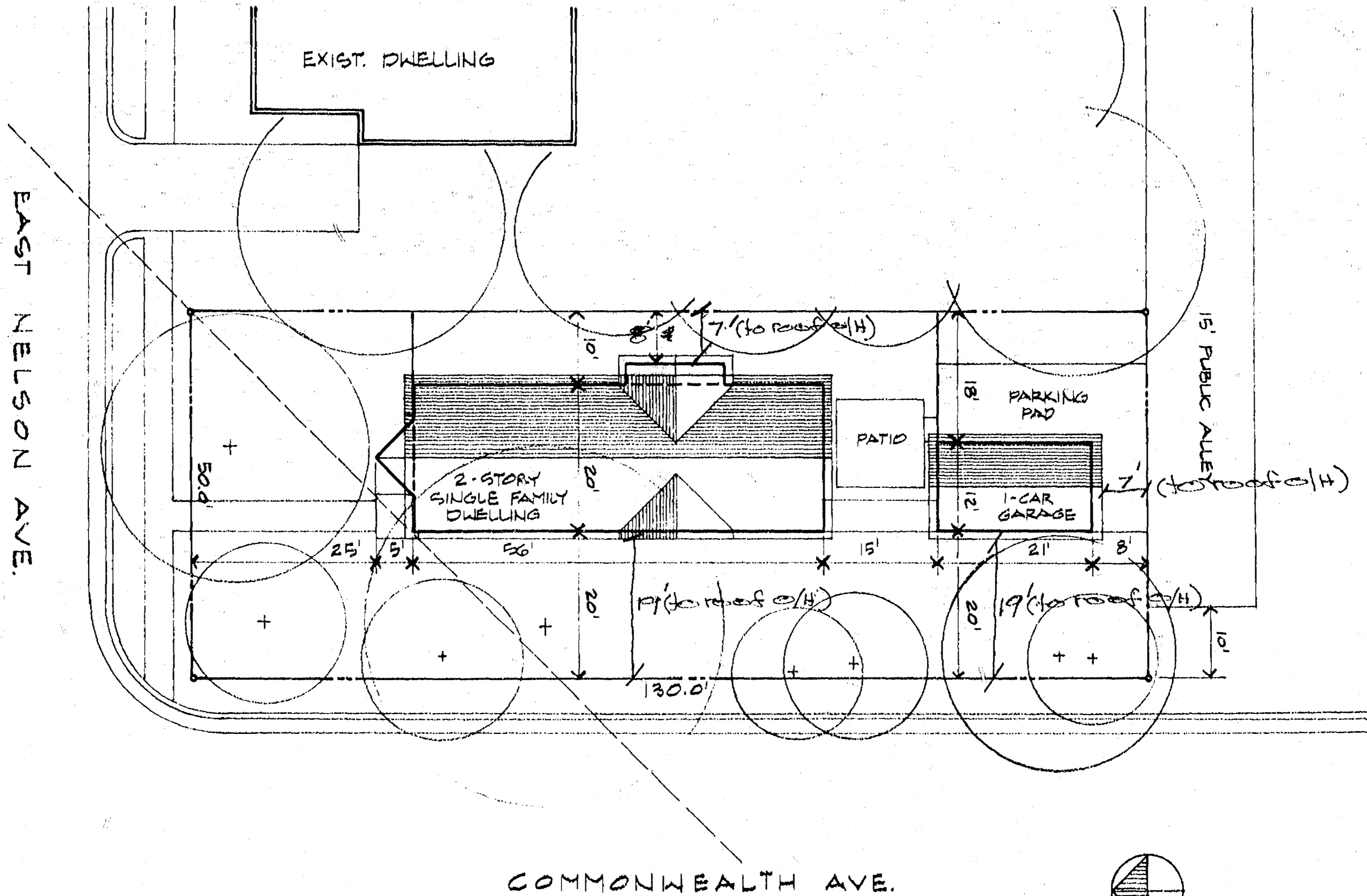


EAST NELSON AVE. ELEVATION
1/8" = 1'-0"

JAMES T. VIVIANO, AIA
ARCHITECT

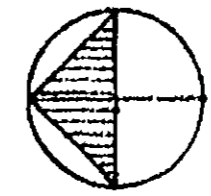
ONE EAST NELSON
ALEXANDRIA, VA.

NOTE: THIS IS A CONCEPTUAL DESIGN SKETCH, THE
ACTUAL DESIGN MAY VARY FROM THIS DRAWING.

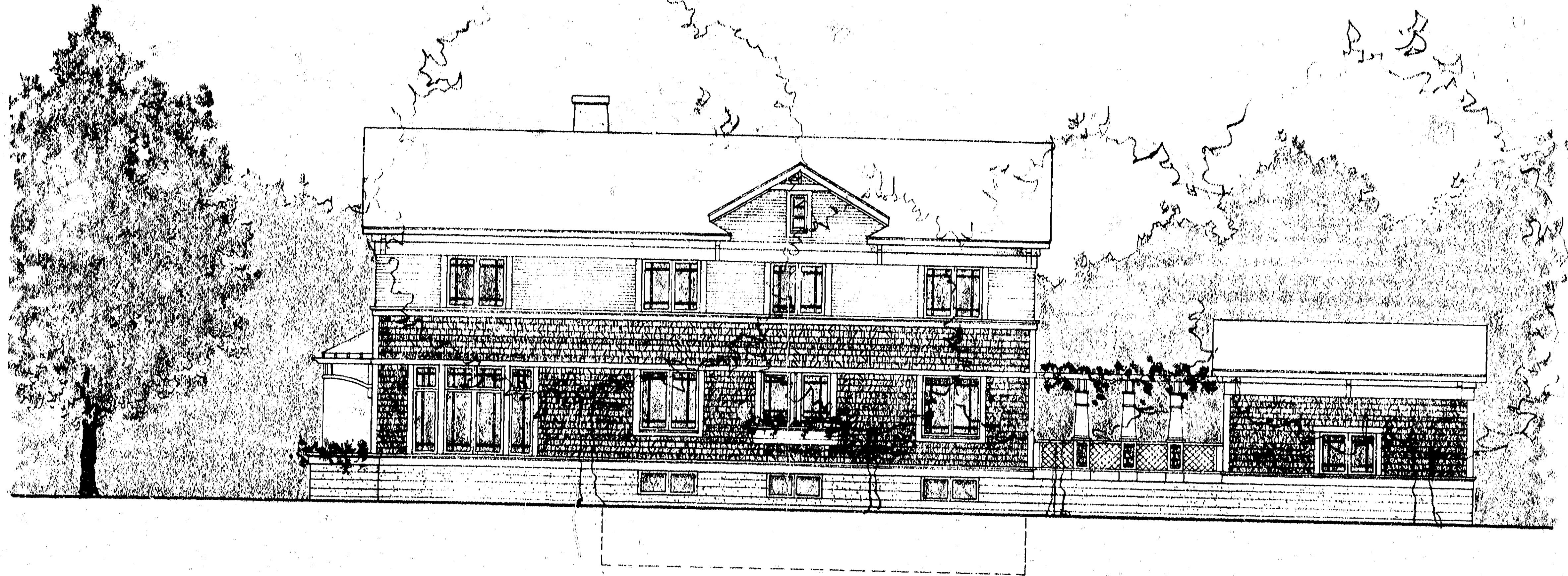


SITE PLAN

1/16" = 1'-0"
 JAMES T. VIVIANO, AIA
 ARCHITECT



SUP 2631



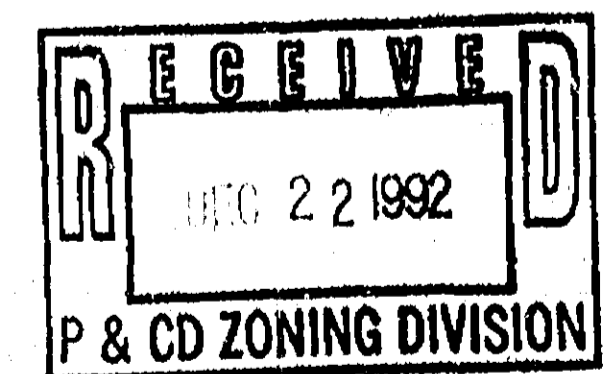
COMMONWEALTH AVE. ELEVATION

1/8" = 1'-0"

JAMES T. VIVIANO, AIA
ARCHITECT

ONE EAST NELSON
ALEXANDRIA, VA.

NOTE: THIS IS A CONCEPTUAL DESIGN SKETCH, THE
ACTUAL DESIGN MAY VARY FROM THIS DRAWING.



SUP 2631



EAST NELSON AVE. ELEVATION

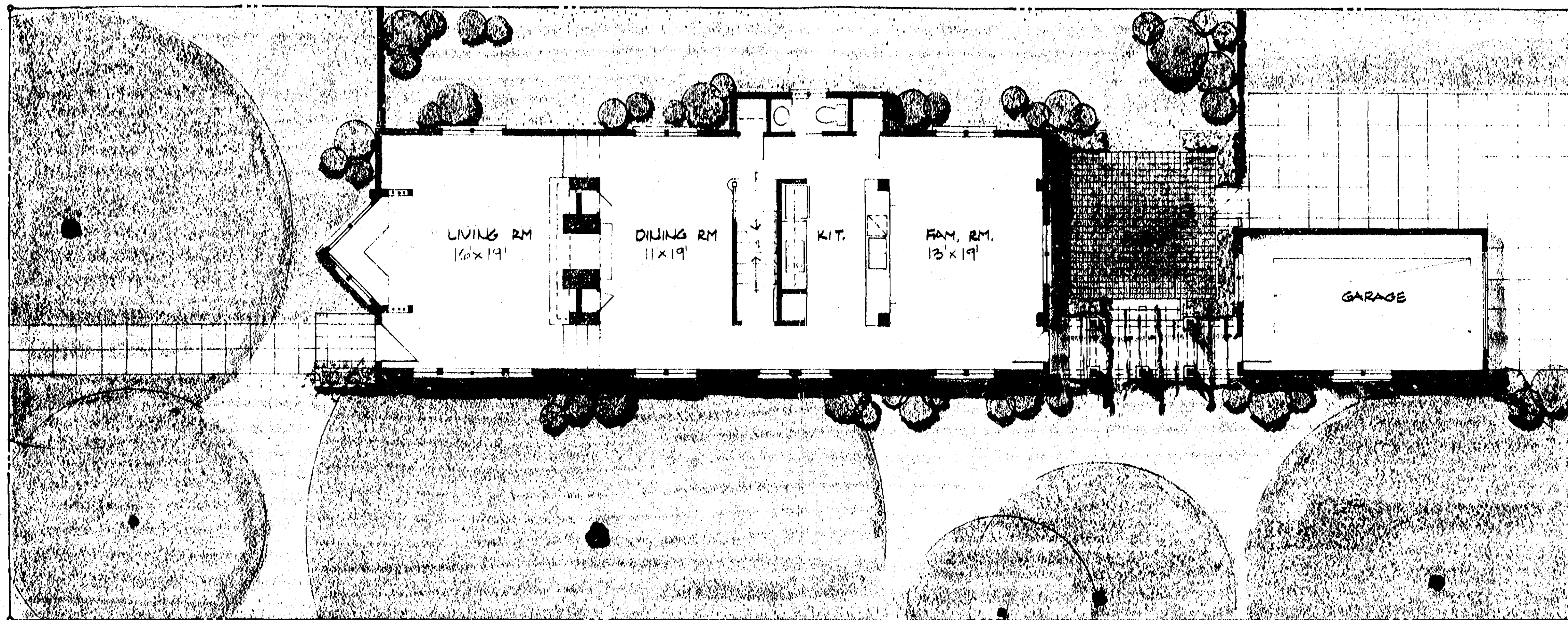
1/8" = 1'-0"

JAMES T. VIVIANO, AIA
ARCHITECT

ONE EAST NELSON
ALEXANDRIA, VA.

NOTE: THIS IS A CONCEPTUAL DESIGN SKETCH, THE
ACTUAL DESIGN MAY VARY FROM THIS DRAWING.

RECEIVED
FEB 22 1992
P & CD ZONING DIVISION



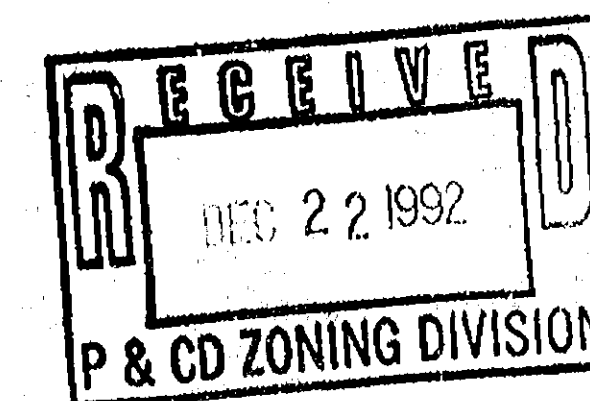
GROUND LEVEL PLAN

1/8" = 1'-0"

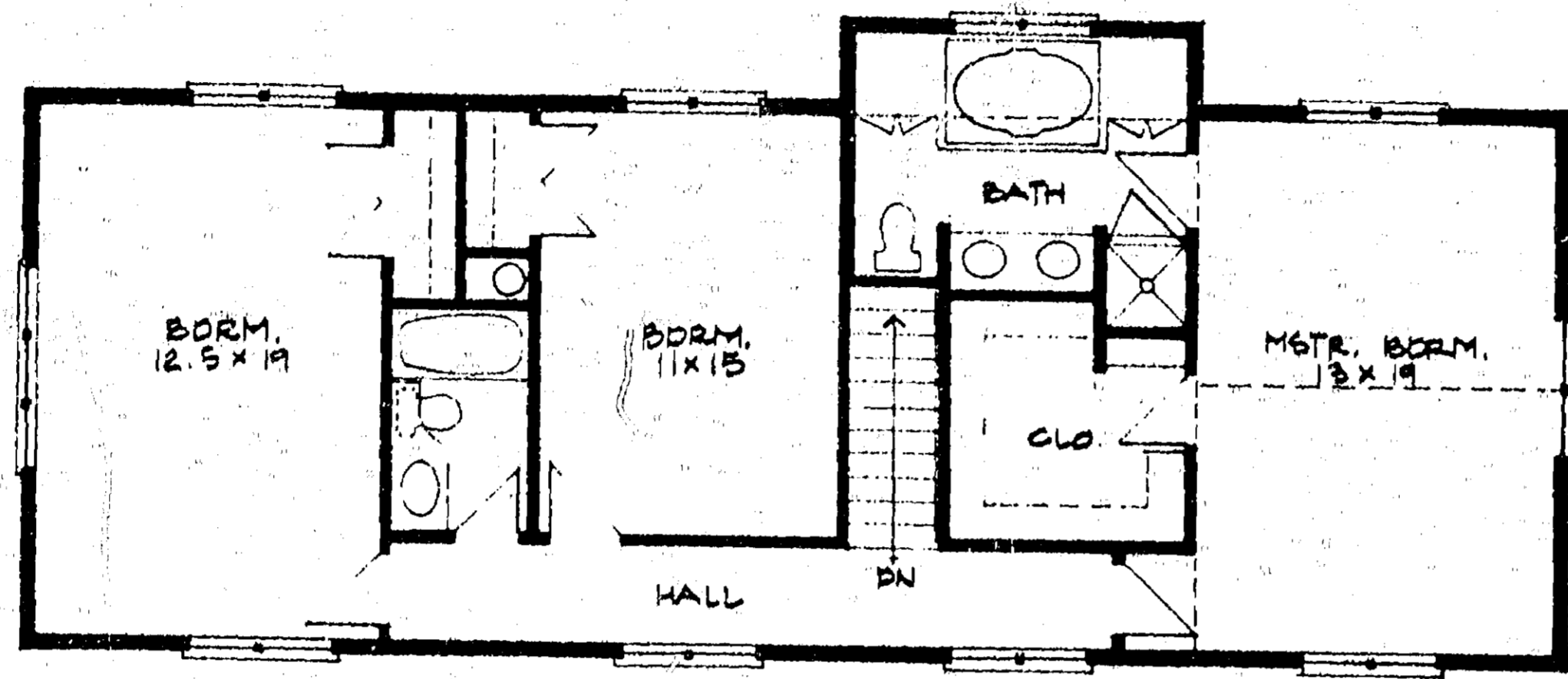
JAMES T. VIVIANO, AIA
ARCHITECT

ONE EAST NELSON
ALEXANDRIA, VA.

NOTE: THIS IS A CONCEPTUAL DESIGN SKETCH, THE
ACTUAL DESIGN MAY VARY FROM THIS DRAWING.



SUP 2631



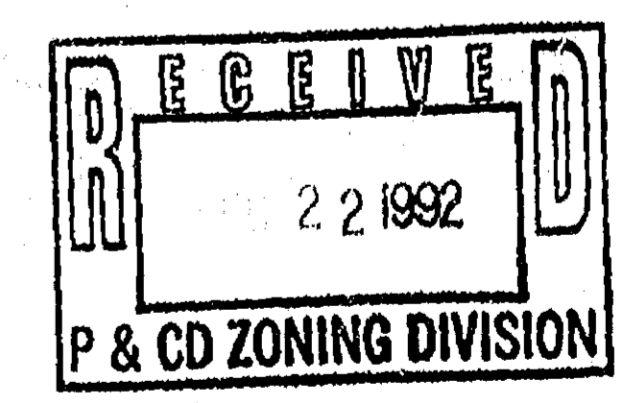
SECOND LEVEL PLAN

1/8" = 1'-0"

JAMES T. VIVIANO, AIA
ARCHITECT

ONE EAST NELSON
ALEXANDRIA, VA.

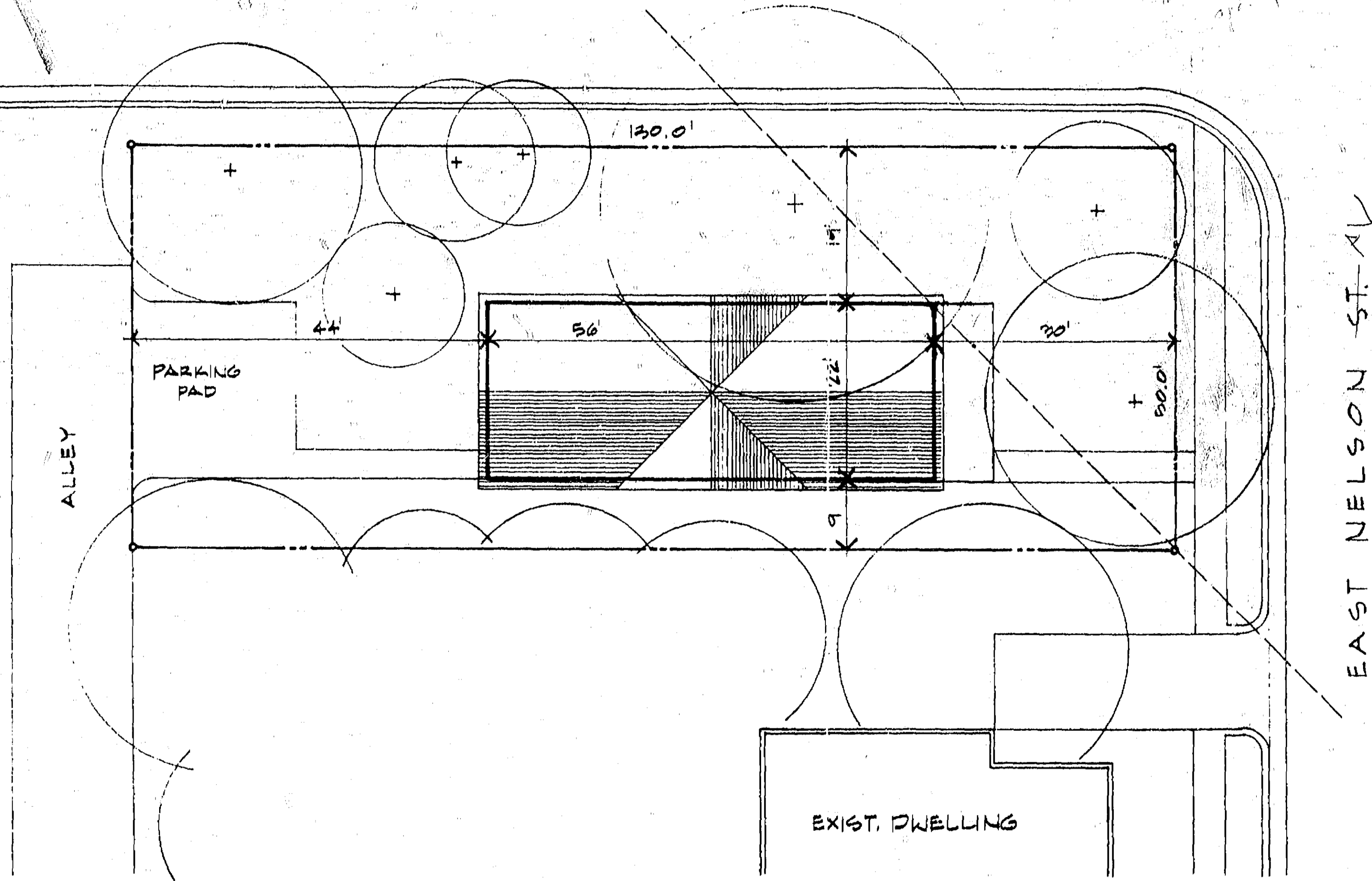
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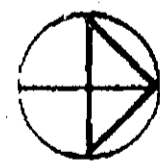
FILE
COPY

2631

COMMONWEALTH AVE.



SITE PLAN

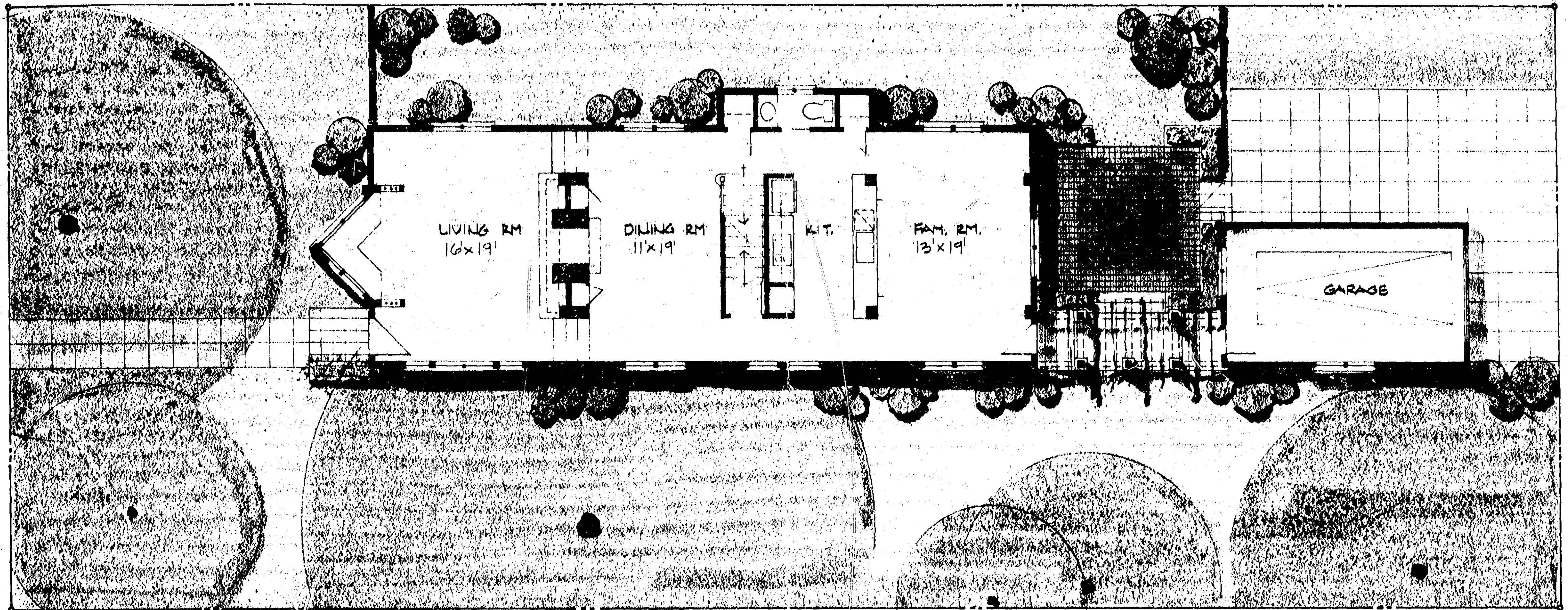


JAMES T. VIVIANO, AIA
ARCHITECT

REVISED

2631

REVISED
12-28-92



GROUND LEVEL PLAN

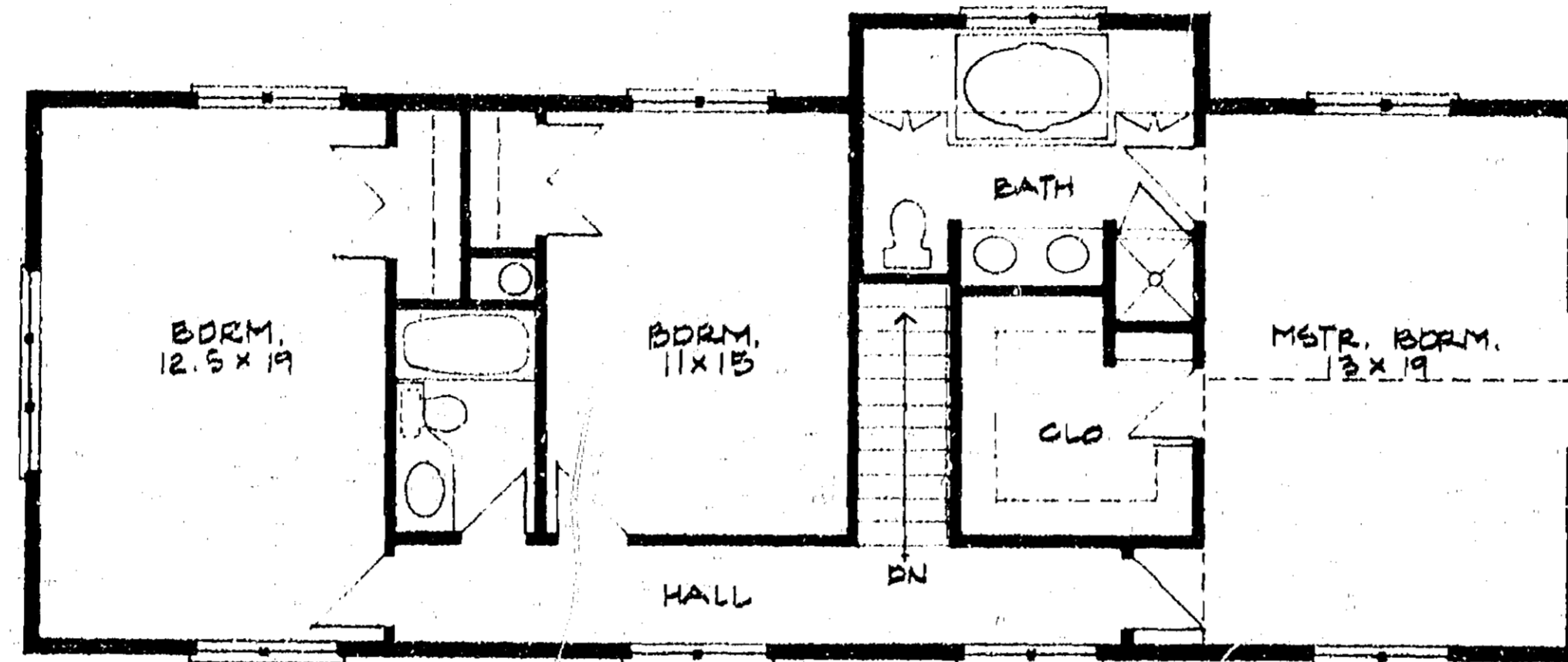
1/8" = 1'-0"

JAMES T. VIVIANO, AIA
ARCHITECT

ONE EAST NELSON
ALEXANDRIA, VA.

NOTE: THIS IS A CONCEPTUAL DESIGN SKETCH, THE
ACTUAL DESIGN MAY VARY FROM THIS DRAWING.

FILE
COPY



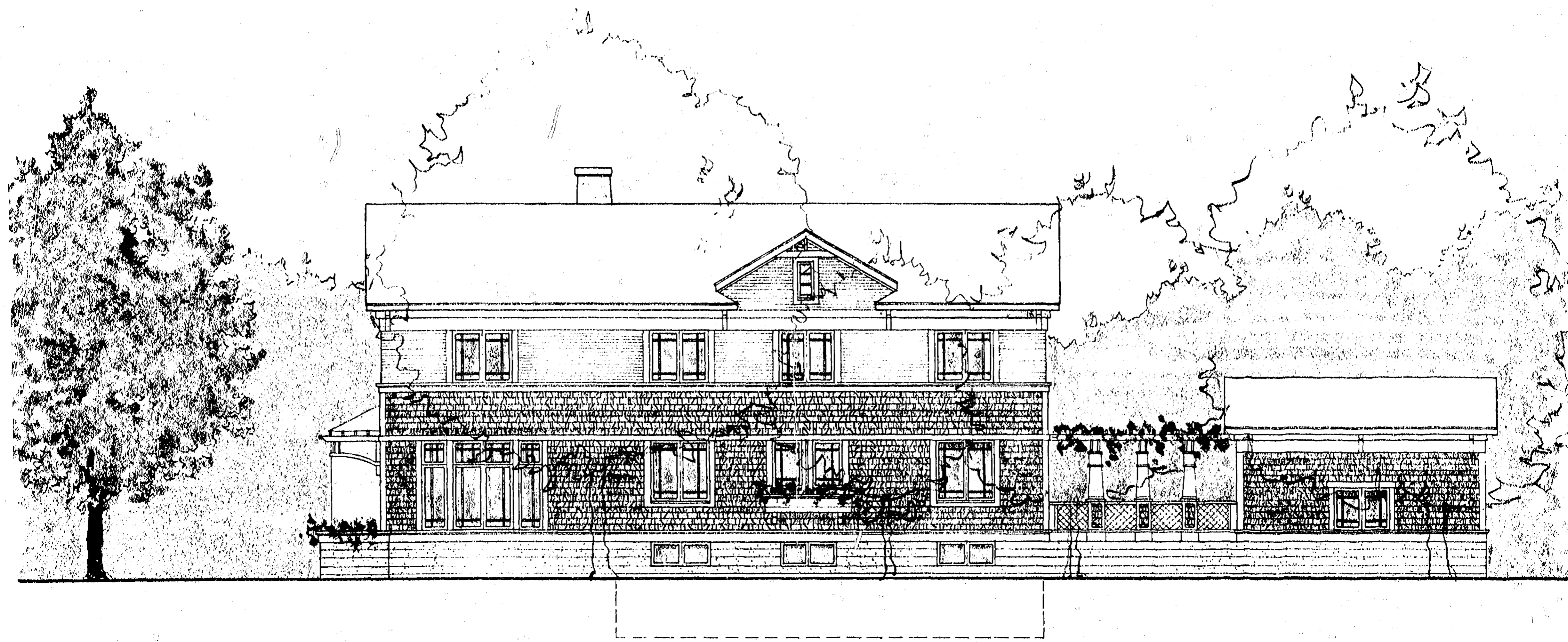
SECOND LEVEL PLAN

1/8" = 1'-0"

JAMES T. VIVIANO, AIA
ARCHITECT

ONE EAST NELSON
ALEXANDRIA, VA.

NOTE: THIS IS A CONCEPTUAL DESIGN SKETCH, THE
ACTUAL DESIGN MAY VARY FROM THIS DRAWING.



COMMONWEALTH AVE. ELEVATION

1/8" = 1'-0"

JAMES T. VIVIANO, AIA
ARCHITECT

ONE EAST NELSON
ALEXANDRIA, VA.

NOTE: THIS IS A CONCEPTUAL DESIGN SKETCH, THE
ACTUAL DESIGN MAY VARY FROM THIS DRAWING.

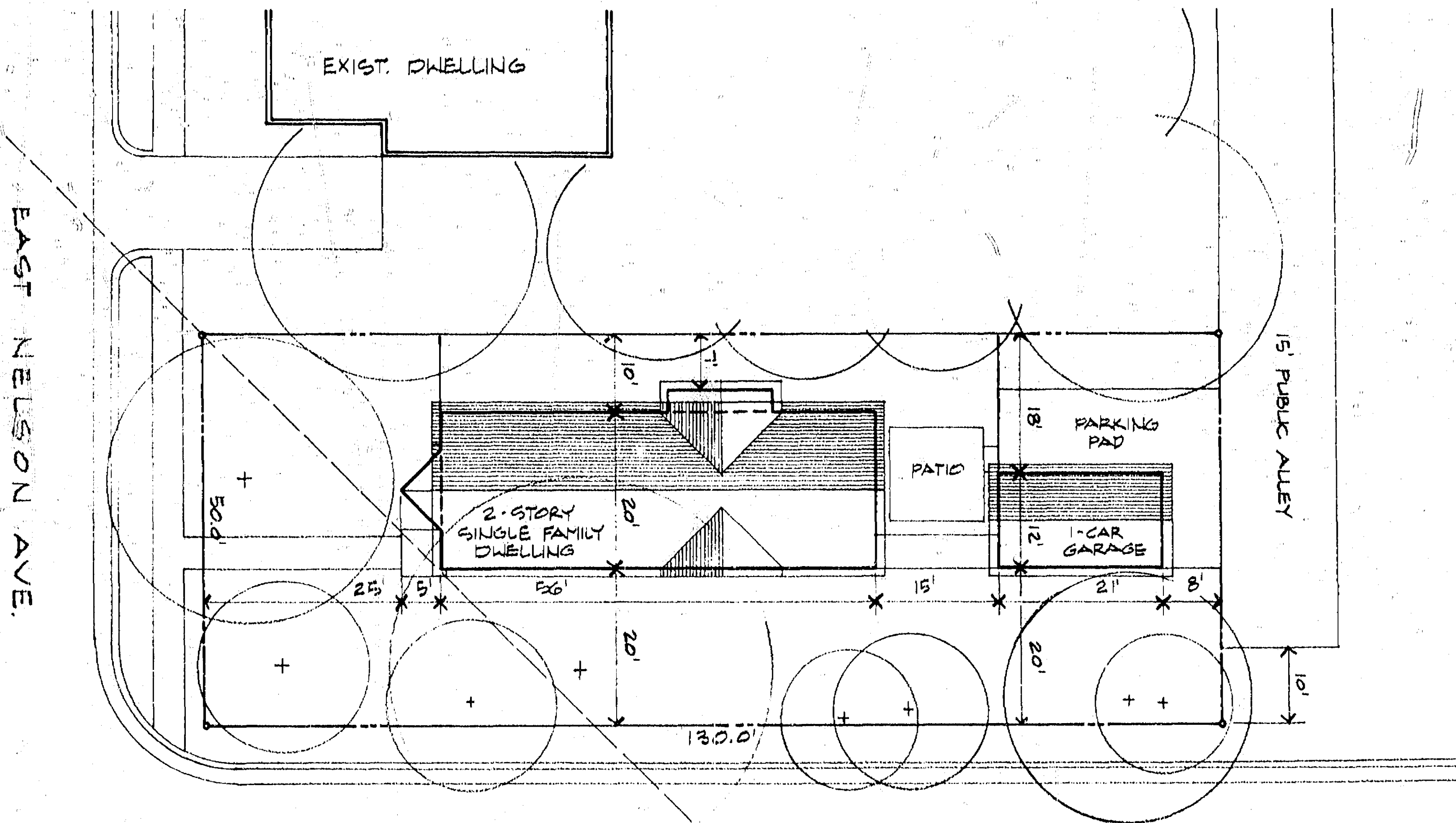


EAST NELSON AVE. ELEVATION
1/8" = 1'-0"

JAMES T. VIVIANO, AIA
ARCHITECT

ONE EAST NELSON
ALEXANDRIA, VA.

NOTE: THIS IS A CONCEPTUAL DESIGN SKETCH, THE
ACTUAL DESIGN MAY VARY FROM THIS DRAWING.



EAST NELSON AVE.

EXIST. DWELLING

2-STORY SINGLE FAMILY DWELLING

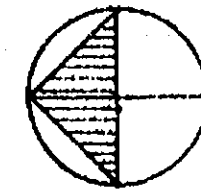
PATIO

PARKING PAD

1-CAR GARAGE

15' PUBLIC ALLEY

COMMONWEALTH AVE.



SITE PLAN

1/16" = 1'-0"

JAMES T. VIVIANO, AIA
ARCHITECT